

1. THIS PROPERTY IS LOCATED IN THE ROUTE 28 TAXING DISTRICT AND IS THEREFORE SUBJECT TO THE REQUIREMENTS OF THE 1972 ZONING ORDINANCE.
2. WHERE PARKING, SERVICE OR LOADING AREAS ARE ILLUMINATED THE LIGHTS SHALL BE FULLY SHIELDED, DOWNWARD DIRECTED, BE GLARE FREE, CONFINED TO THE SITE AND SHOULD HAVE ILLUMINATION LEVELS THAT ARE NO GREATER THAN NECESSARY FOR LIGHTS INTENDED PURPOSE. ALL LIGHTING SHOULD BE MOUNTED AS LOW AS PRACTICABLE AND DESIGNED TO PRECLUDE LIGHT TRESPASS ONTO ADJOINING PROPERTIES, GLARE TO PASSERBY, SKYGLOW, AND DETERIORATION OF THE NIGHTTIME ENVIRONMENT.
3. AS PER PRE-APPLICATION MEETING PRAP 2014-0112, THE PARKING RATE OF MINIMUM 2.5 PARKING SPACES PER 1,000 SF OF GFA (GROSS FLOOR AREA) OF "SERVICE RETAIL", PER REVISED 1993 ZONING ORDINANCE, WILL BE UTILIZED TO PARK THE ANIMAL HOSPITAL. THE OFFICE USE REQUIRES ONE SPACE FOR EVERY 375 SF OF NFA (NET FLOOR AREA).
4. NO BUILDING OR OTHER STRUCTURES SHALL BE LOCATED IN A MANNER OR BUILT TO A HEIGHT WHICH CONSTITUTES A HAZARD TO AERIAL NAVIGATION (SEC.520.2.2)
5. THE ESTIMATED TOTAL 200 ADT IS BASED ON 5 PEAK HOUR (PM) TRIPS FOR LAND USE 715 (2,979 SF, OFFICE); AND 15 PEAK HOUR (PM) TRIPS FOR LAND USE 640 (3,060 SF, ANIMAL/VETERINARY CLINIC), FOR A TOTAL OF 20 PEAK HOUR (PM) TRIPS, AS INDICATED ON 9TH EDITION OF THE TRIP GENERATION MANUAL BY "INSTITUTE OF TRANSPORTATION ENGINEERS". WEEKDAY ADT ASSUMED TO BE 10 TIMES THE PM TOTAL PEAK HOUR TRIPS.
6. THIS SITE MAY PROVIDE CUSTOMER SERVICES AFTER 5:00 PM. THEREFORE, THE LIGHTING SHALL STABLISH THE MOUNTING HEIGHT, ILLUMINANCE, AND SPACING TO PROVIDE AN AVERAGE HORIZONTAL ILLUMINATION OF 0.6 FOOT-CANDLES OR GREATER WITHIN THE PARKING AREAS AND AT PRIMARY BUILDING ENTRANCES. ( FSM 7.120.B.2 )  
ALL LIGHTING AND GLARE PERFORMANCE STANDARDS MUST CONFORM TO ARTICLE 535.
7. NO TITLE REPORT FURNISHED.
8. THE FIELD RUN TOPOGRAPHY, WITH TWO FEET INTERVALS, UPDATED OCT-2015 BY SITECH CONSULTING GROUP. THE TOPO IS BASED ON "NAVD 1988".
9. NO SPITE STRIPS CONTROLLING ACCESS TO PUBLIC ROADS ARE PROPOSED WITH THIS SITE PLAN
10. THIS SITE PLAN IS SUBMITTED TO PERMIT AN ANIMAL HOSPITAL USE ON THE LOWER LEVEL, BASED ON APPROVED SPEX PLAN 2015-0009 AND BY-RIGHT OFFICE USE ON SECOND FLOOR.
11. THIS SITE IS SERVED WITH PUBLIC WATER AND PUBLIC SEWER.
12. ALL SIGNAGE MUST CONFORM TO ARTICLE 523 OF THE 1972 ZONING ORDINANCE.
13. AT NO TIME DURING CONSTRUCTION SHALL THE APPLICANT OR ITS AGENTS CLEAR, GRADE, PLACE SILTATION FENCE OR IMPACT THE W&OD RAILROAD PARK IN ANYWAY WITHOUT WRITTEN APPROVAL FROM NOVA PARKS. FURTHER, THE TRAIL SHALL NOT BE USED AS A MEANS OF ACCESS TO THE SUBJECT SITE.

# SITE PLAN

STPL # 2016-0016

VICINITY MAP  
SCALE: 1"=1000'

The map shows a grid of coordinates. The horizontal axis (top) ranges from 492500 to 497500 in increments of 500. The vertical axis (left) ranges from 2302000 to 2308000 in increments of 200. Key roads and features include:

- SULLY RD** (vertical road on the left)
- RTE 28** (diagonal road crossing Sully Rd)
- W. CHURCH RD - RTE 625** (horizontal road across the middle)
- MAXWELL DR** (curved road in the upper center)
- BLOSSOM DR** (curved road in the upper center)
- CAROLINE DR** (curved road on the right)
- W. 10TH AVE** (horizontal road below W. Church Rd)
- W. 9TH AVE** (horizontal road below W. 10th Ave)
- W. 8TH AVE** (horizontal road below W. 9th Ave)
- W. 7TH AVE** (horizontal road below W. 8th Ave)
- W. 6TH AVE** (horizontal road below W. 7th Ave)
- W. 5TH AVE** (horizontal road below W. 6th Ave)
- W. 4TH AVE** (horizontal road below W. 5th Ave)
- W. 3TH AVE** (horizontal road below W. 4th Ave)
- W. 2TH AVE** (horizontal road below W. 3rd Ave)
- W. 1TH AVE** (horizontal road below W. 2nd Ave)
- W. 0TH AVE** (horizontal road below W. 1st Ave)
- W. -1TH AVE** (horizontal road below W. 0th Ave)
- W. -2TH AVE** (horizontal road below W. -1st Ave)
- W. -3TH AVE** (horizontal road below W. -2nd Ave)
- W. -4TH AVE** (horizontal road below W. -3rd Ave)
- W. -5TH AVE** (horizontal road below W. -4th Ave)
- W. -6TH AVE** (horizontal road below W. -5th Ave)
- W. -7TH AVE** (horizontal road below W. -6th Ave)
- W. -8TH AVE** (horizontal road below W. -7th Ave)
- W. -9TH AVE** (horizontal road below W. -8th Ave)
- W. -10TH AVE** (horizontal road below W. -9th Ave)
- W. -11TH AVE** (horizontal road below W. -10th Ave)
- W. -12TH AVE** (horizontal road below W. -11th Ave)
- W. -13TH AVE** (horizontal road below W. -12th Ave)
- W. -14TH AVE** (horizontal road below W. -13th Ave)
- W. -15TH AVE** (horizontal road below W. -14th Ave)
- W. -16TH AVE** (horizontal road below W. -15th Ave)
- W. -17TH AVE** (horizontal road below W. -16th Ave)
- W. -18TH AVE** (horizontal road below W. -17th Ave)
- W. -19TH AVE** (horizontal road below W. -18th Ave)
- W. -20TH AVE** (horizontal road below W. -19th Ave)
- W. -21TH AVE** (horizontal road below W. -20th Ave)
- W. -22TH AVE** (horizontal road below W. -21st Ave)
- W. -23TH AVE** (horizontal road below W. -22nd Ave)
- W. -24TH AVE** (horizontal road below W. -23rd Ave)
- W. -25TH AVE** (horizontal road below W. -24th Ave)
- W. -26TH AVE** (horizontal road below W. -25th Ave)
- W. -27TH AVE** (horizontal road below W. -26th Ave)
- W. -28TH AVE** (horizontal road below W. -27th Ave)
- W. -29TH AVE** (horizontal road below W. -28th Ave)
- W. -30TH AVE** (horizontal road below W. -29th Ave)
- W. -31TH AVE** (horizontal road below W. -30th Ave)
- W. -32TH AVE** (horizontal road below W. -31st Ave)
- W. -33TH AVE** (horizontal road below W. -32nd Ave)
- W. -34TH AVE** (horizontal road below W. -33rd Ave)
- W. -35TH AVE** (horizontal road below W. -34th Ave)
- W. -36TH AVE** (horizontal road below W. -35th Ave)
- W. -37TH AVE** (horizontal road below W. -36th Ave)
- W. -38TH AVE** (horizontal road below W. -37th Ave)
- W. -39TH AVE** (horizontal road below W. -38th Ave)
- W. -40TH AVE** (horizontal road below W. -39th Ave)
- W. -41TH AVE** (horizontal road below W. -40th Ave)
- W. -42TH AVE** (horizontal road below W. -41st Ave)
- W. -43TH AVE** (horizontal road below W. -42nd Ave)
- W. -44TH AVE** (horizontal road below W. -43rd Ave)
- W. -45TH AVE** (horizontal road below W. -44th Ave)
- W. -46TH AVE** (horizontal road below W. -45th Ave)
- W. -47TH AVE** (horizontal road below W. -46th Ave)
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- W. -50TH AVE** (horizontal road below W. -49th Ave)
- W. -51TH AVE** (horizontal road below W. -50th Ave)
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- W. -53TH AVE** (horizontal road below W. -52nd Ave)
- W. -54TH AVE** (horizontal road below W. -53rd Ave)
- W. -55TH AVE** (horizontal road below W. -54th Ave)
- W. -56TH AVE** (horizontal road below W. -55th Ave)
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- W. -82TH AVE** (horizontal road below W. -81st Ave)
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- W. -84TH AVE** (horizontal road below W. -83rd Ave)
- W. -85TH AVE** (horizontal road below W. -84th Ave)
- W. -86TH AVE** (horizontal road below W. -85th Ave)
- W. -87TH AVE** (horizontal road below W. -86th Ave)
- W. -88TH AVE** (horizontal road below W. -87th Ave)
- W. -89TH AVE** (horizontal road below W. -88th Ave)
- W. -90TH AVE** (horizontal road below W. -89th Ave)
- W. -91TH AVE** (horizontal road below W. -90th Ave)
- W. -92TH AVE** (horizontal road below W. -91st Ave)
- W. -93TH AVE** (horizontal road below W. -92nd Ave)
- W. -94TH AVE** (horizontal road below W. -93rd Ave)
- W. -95TH AVE** (horizontal road below W. -94th Ave)
- W. -96TH AVE** (horizontal road below W. -95th Ave)
- W. -97TH AVE** (horizontal road below W. -96th Ave)
- W. -98TH AVE** (horizontal road below W. -97th Ave)
- W. -99TH AVE** (horizontal road below W. -98th Ave)
- W. -100TH AVE** (horizontal road below W. -99th Ave)

NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE

APPROVAL BLOCK	
LAND DEVELOPMENT APPLICATION	
NUMBER: STPL # 2016-0016	
_____ Director of Building & Development	_____ Date

SHEET INDEX	
SHEET NO.	TITLE
1.	COVER SHEET
2.	NOTES, DETAILS & LEGENDS
3.	SOILS, BOUNDARY, STAKEOUT, SPEX APPROVAL & SIGHT DISTANCE PROFILE
4.	SITE PLAN
5.	E/S CONTROL, PHASE-1
6.	E/S CONTROL, PH-2 & FIRE HYDRANT COVERAGE
7.	LANDSCAPING, LIGHTING, DETAILS & COMPS
8.	UTILITY PROFILES & COMPS
9.	VIRGINIA STANDARD E/S CONTROL DETAILS
10.	LOUDOUN WATER & SEWER STANDARD DETAILS
11.	FYI ONLY – COPY OF APPROVED SPEX 2015-0009

CURRENT ZONING MAP CLASSIFICATION: C-1

THIS SITE IS LESS THAN HALF AN ACRE. IT WAS USED AS A RESIDENTIAL PROPERTY. THE OLD HOUSE ON THIS LOT WAS DEMOLISHED AND REMOVED A FEW YEARS AGO. THE SITE DOES NOT CONTAIN ANY SIGNIFICANT TREES. THERE ARE SOME UNDERGROWTH BRUSH ONSITE. THE DOMINION VIRGINIA POWER HAS A POWER EASEMENT ON THE W&OD TRAIL SIDE AND ALONG RURITAN CIRCLE. VDOT HAS TAKEN ALL REQUIRED R.O.W. PREVIOUSLY FOR CHURCH ROAD AND RURITAN CIRCLE WITH DEVELOPMENT OF THE CHURCH ROAD AND EXTENSION OF THE ATLANTIC BLVD NO R.O.W. DEDICATION IS PROPOSED WITH THIS PLAN.

THIS SITE IS SURROUNDED BY VDOT R.O.W. IN FRONT AND BACK, W&OD TRAIL ON EAST AND AN OUTLOT [GORE] TO THE WEST. THE OUTLOT HAS A MINIMAL AREA AND IS NON-DEVELOPABLE DUE TO ITS SIZE.

ANY EXCESS DIRT FROM THIS SITE HAS TO BE HAULED AWAY. THERE WILL BE A SMALL STOCKPILE AREA AT THE LEFT SIDE OF THE ENTRANCE.

THE TOPOGRAPHY OF THE SITE WAS ALTERED WITH ROAD IMPROVEMENTS AND IT CONTAINS SOME FILL DIRT.

THERE SEEMS TO BE NO VALUABLE ARCHEOLOGICAL IMPORTANCE TO THIS SITE. THIS SITE WAS PREVIOUSLY APPROVED FOR OFFICE USE, STLPL#2002-0057.

THE APPROVED PLAN WAS DIVERTED BACK TO PRE-APPROVED CONDITON VIA SPAM-2012-0024.

PROPOSED USE: ANIMAL HOSPITAL / OFFICE  
TOTAL CURRENT SITE AREA=19,339 SF= 0.444 AC  
PROPOSED TOTAL GROSS OFFICE SPACE: 2,979 S.F.(G.F.A.)  
PROPOSED TOTAL GROSS ANIMAL HOSPITAL SPACE: 3,060 S.F.(G.F.A.)  
PROPOSED TOTAL NET OFFICE SPACE: 2,234 S.F.(N.F.A.)= 75% OF G.F.A.  
PROPOSED TOTAL NET ANIMAL HOSPITAL SPACE:2,295 S.F.(N.F.A.)= 75% OF G.F.A.  
PROPOSED BUILDING FOOTPRINT: 3,060 S.F.  
MAXIMUM LOT COVERAGE: 40% OR 7,736 S.F.  
PROPOSED LOT COVERAGE: 15.8%  
PROPOSED BUILDING HEIGHT: 35 FEET  
APPROXIMATE PROPOSED DISTURBED AREA: 18,000 SF

REQUIRED YARDS:  
FRONT YARD: 30 FT. FROM CHURCH ROAD, RTE. 625  
FRONT YARD: 30 FT. FROM RURITAN CIRCLE, RTE. 859  
SIDE YARD: NONE; 25' SETBACK FROM W&OD TRAIL

PROVIDED YARDS:  
FRONT YARD: 30 FT. FROM CHURCH ROAD, RTE. 625  
FRONT YARD: 30 FT. FROM RURITAN CIRCLE, RTE. 859  
SIDE YARD: 9' WEST YARD; 25' SETBACK FROM W&OD TRAIL

OFFICE USE: 1 SPACE PER 375 SF OF N.F.A.  
PARKING REQUIRED= 2,234/375=6 SPACES

ANIMAL HOSPITAL USE: 2.5 SPACE PER 1,000 SF OF G.F.A.  
(USE: SAME AS SERVICE RETAIL, AS PER REVISED 1993 Z.O.)  
PARKING REQUIRED=  $2.5 \times (3,060 / 1,000) =$  8 SPACES

TOTAL PARKING REQUIRED: 14 SPACES  
TOTAL PARKING PROVIDED: 14 SPACES

HANDICAP PARKING REQUIRED= 1 SPACE  
HANDICAP PARKING PROVIDED= 1 SPACE

VAN ACCESSIBLE PARKING REQUIRED= 1 SPACE  
VAN ACCESSIBLE PARKING PROVIDED= 1 SPACE

LOADING BAYS REQUIRED: NONE  
LOADING BAYS PROVIDED: NONE

DETAILED LANDSCAPING PLAN PROVIDED ON SHEET-7.

REQUIRED: 1,934 S.F. OR 10%  
PROVIDED: 3,700 S.F. OR 19%

REFER TO LANDSCAPING PLAN, SHEET-7, FOR FULL BUFFER YARD REQUIREMENTS

PROVIDED ONSITE. SEE SHEETS 4 & 8.

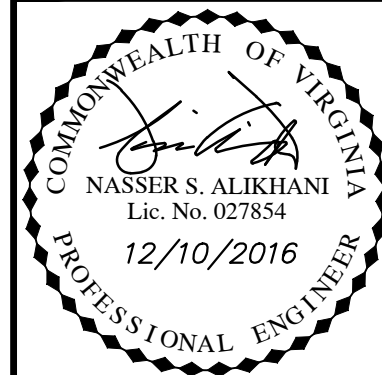
SHARMA, NAVDEEP KUMAR & RITU KANWAR  
43470 ROCKFOREST CT, STERLING VA 20166-2167  
TEL: (757) 288-0503

LOT 4037  
[FORMERLY KNOWN AS: 1009 RURITAN CIRCLE, STERLING, VIRGINIA 20164]  
TAX MAP /80/////////76/  
PIN: 032-45-4037-000  
INSTRUMENT# 201501050000394  
INSTRUMENT# 200406280065735 D/C 2055 --1789, 1012-58  
INSTRUMENT# 200501240008647-8648P



12146 Paper Birch Ln  
Gainesville, VA 20155  
703-927-2300  
Nasser@SitechCG.com

**CHURCH ROAD ANIMAL HOSPITAL**  
SITE PLAN FOR ANIMAL HOSPITAL & OFFICE USE  
DULLES MAGISTERIAL & POTOMAC ELECTION DISTRICTS; LOUDOUN COUNTY, VIRGINIA



SCALE: 1" = 30'

DATE: MAR 2016

REVISIONS:

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[illegible]

DESIGN.	ORADD.
NSA	SEA

1

SHEET: 1 OF 1

FILE NO.	14
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STPL-2016-0016

LEGEND:

EXISTING 2' CONTOUR

EXISTING 10' CONTOUR

PROPOSED 2' CONTOUR

PROPOSED 10' CONTOUR

EXISTING EDGE OF PAVEMENT

PROPOSED EDGE OF PAVEMENT

PROPOSED CURB

EXISTING CURB & GUTTER

PROPOSED CG-6

TRANSITION FROM CG-6 TO CG-6R

EXISTING WATERLINE W/TEE

PROPOSED WATERLINE W/FIXTURES

EXISTING TELEPHONE LINE

PROPOSED TELEPHONE LINE

EXISTING STORM SEWER

PROPOSED STORM SEWER

EXISTING SANITARY SEWER

EXISTING SANITARY SEWER

EXISTING ELECTRIC SERVICE

PROPOSED ELECTRIC SERVICE

EXISTING GAS LINE

PROPOSED GAS LINE

PROPERTY LINE

EASEMENT LINE

CENTER LINE

LIMITS OF CLEARING & GRADING

EXISTING SPOT ELEVATIONS

PROPOSED SPOT ELEVATIONS

EXISTING TREE LINE

EXISTING TREE W/TRUNK DIAMETER

EXISTING TREE W/DRUPLINE

PROPOSED TREES

FLOW LINE OF SWALE

FENCE LINE

EXISTING UTILITY POLE

PROPOSED UTILITY POLE

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

EXISTING WATER VALVE

PROPOSED WATER VALVE

EXISTING REDUCER

PROPOSED REDUCER

WATER METER

OVERLAND RELIEF

STOP SIGN

HANDICAP RAMP  
DENOTES LOCATION OF STD VDOT CG-12 AND/OR JURISDICTIONAL STANDARD RAMP CONSTRUCTION

HANDICAP PARKING SIGN

HANDICAP PARKING SIGN, VAN ACCESSIBLE

PARKING INDICATOR  
INDICATES THE NUMBER OF PARKING SPACES

TEST PIT

STREET LIGHT

TELE. JUNCTION BOX

ELEC. TRANSFORMER

STEEP SLOPES  
SLOPES TO BE SEED, MULCHED & TACKED WITHIN 14 DAYS AFTER START OF GRADING OR SODDED & PEGGED WITHIN 14 DAYS AFTER START OF GRADING.

EXISTING STORM STRUCTURE ID

PROPOSED STORM STRUCTURE ID

EXISTING SANITARY STRUCTURE ID

PROPOSED SANITARY STRUCTURE ID

ABBREVIATIONS:

A AASHTO AREA OR ARC  
AC THE AMERICAN ASSOCIATION OF STATE HIGHWAY TRANSPORTATION OFFICIALS  
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE  
ARCH ARCHITECTURAL  
ASPH ASPHALT

B BC BOTTOM OF CURB  
BF BASEMENT FLOOR  
BLDG BUILDING  
BM BENCHMARK  
BOV BLOW OFF VALVE  
BRL BUILDING RESTRICTION LINE  
BW BOTTOM OF WALL

C C COEFFICIENT OF RUNOFF  
CATV CABLE TELEVISION  
CB CATCH BASIN OR CHORD BEARING  
CC CENTER TO CENTER  
CF CUBIC FEET  
CFS CUBIC FEET PER SECOND  
CH CHORD  
CG CURB AND GUTTER  
CIP CAST IRON PIPE  
CMP CORRUGATED METAL PIPE  
CONC CONCRETE  
CO CLEAN OUT  
CQ CONSTRUCTION  
CS CURB STOP  
CT COURT  
CY CUBIC YARD

D D DEPTH  
DA DRAINAGE AREA  
DB DEED BOOK  
DCSM DESIGN & CONSTRUCTION STANDARDS MANUAL (LEESBURG)  
DET DETAIL  
DIP DROP INLET  
DM DUCTILE IRON PIPE  
DR DROP MANHOLE  
DWG DRIVE  
DS DRAWING  
DWS DOWN SPOUT  
DNY DRIVE WAY  
Δ DELTA

E E RATE OF SUPERELEVATION IN FEET PER FOOT  
EC EROSION CONTROL  
ESMT EASEMENT  
EV ELEVATION  
EP EDGE OF PAVEMENT  
ES END SECTION  
CFS EROSION/SEDIMENT  
EW END WALL  
EX EXISTING  
ELEC ELECTRICAL  
EBL EAST BOUND LANE

F F FIRE LINE FOR SPRINKLER SYSTEM  
FAR FLOOR AREA RATIO  
FC FACE OF CURB  
FCWA FARFAX COUNTY WATER AUTHORITY  
FF FIRST FLOOR  
FG FINISHED GRADE  
FH FIRE HYDRANT  
FP FLOOD PLAIN  
FPCA FARFAX COUNTY PARK AUTHORITY  
FOY FOYER  
FPS FEET PER SECOND  
FSM FACILITIES STANDARD MANUAL (LOUDOUN)

G G GAS  
GFA GROSS FLOOR AREA  
GR GUARD RAIL

H HC HANDICAPPED PARKING SPACE  
HGL HYDRAULIC GRADE LINE  
HP HIGH POINT  
HR HAND RAIL  
HT HEIGHT

I I RAINFALL INTENSITY  
ID INSIDE DIAMETER  
IN INCH  
INTX INTERSECTION  
INV INVERT  
IP IRON PIPE  
IPF IRON PIPE FOUND  
IPS IRON PIPE SET

J JB JUNCTION BOX

K K SIGHT DISTANCE COEFFICIENT

L

L LAT  
LW LATERAL  
LL LOUDOUN WATER  
LP LOWER LEVEL  
LS LOW POINT  
LS LOADING SPACE  
LS LANDSCAPING  
LS LIMITS OF CLEARING & GRADING  
LOG LOG

M M METER (DIMENSION)  
MECH MECHANICAL  
MH MANHOLE  
MI MILE  
MPS METERS PER SECOND  
MS MEDIAN STRIP  
MSL MEAN SEA LEVEL

N N/F NOW OR FORMERLY  
NFA NET FLOOR AREA  
NO, # NUMBER  
NBL NORTH BOUND LANE

O OC ON CENTER  
OD OVERSIDE DIAMETER  
OH OVERHANG

P P PERIMETER  
PC POINT OF CURVATURE  
PCC POINT OF COMPOUND CURVES  
PCEP POINT OF CURVE EDGE OF PAVEMENT  
PCTC POINT OF CURVATURE TOP OF CURB  
PL PUBLIC FACILITIES MANUAL (FAIRFAX)  
PM PAVEMENT  
PG PAGE  
POL POINT OF GRADE LINE  
PROP PROPERTY LINE  
PRP PARKWAY  
PRC POINT OF REVERSE CURVES  
PRELIM PRELIMINARY  
PROP PROPOSED  
PT POINT OF TANGENCY  
PVC POINT OF VERTICAL CURVATURE  
PVI POINT OF VERTICAL INTERSECTION  
PVM/T PAVEMENT  
PVT POINT OF VERTICAL TANGENT  
P&P PLAN AND PROFILE

Q

Q (C.F.S.) AMOUNT OF RUNOFF

R RCP REINFORCED CONCRETE PIPE  
RD ROAD  
RD ROAD  
RET RETAINING  
REV REVISION  
RR RAILROAD  
RTE, RT ROUTE  
R/W RIGHT OF WAY  
ROW RIGHT OF WAY  
RGP ROUGH GRADING PLAN

S

S SANITARY  
SBL SOUTH BOUND LANE  
SD SIGHT DISTANCE  
SEC SECTION  
SEW SEWER  
SF SQUARE FEET  
SP SITE PLAN  
SPEC SPECIFICATION  
STA STATION  
STD STANDARD  
STM STORM  
SVC SERVICE  
S/W SIDE WALK  
Sx CROSS SLOPE  
SY SQUARE YARD

T

T TANGENT  
TB TEST BORE  
TC TOP OF CURB  
TEL TELEPHONE  
TF TEST FIT  
TB TOP OF BANK  
TW TOP OF WALL

U

UD UNDER DRAIN  
UG UNDERGROUND  
UL UPPER LEVEL  
UL UTILITY POLE

V

V VELOCITY  
VA VIRGINIA  
VDOT VA DEPT. OF TRANSPORTATION  
VF VERTICAL FOOT

W

W/L WATERLINE  
WBL WEST BOUND LANE

X

X-SEC CROSS SECTION  
X-ING CROSSING

Y

YI YARD INLET  
YR YEAR

Z

Z SIDE SLOPES  
ZO ZONING ORDINANCE

LOUDOUN COUNTY  
STANDARD CONSTRUCTION PLANS NOTES:

- A. SUB-BASE DEPTH IS BASED ON CBR VALUE OF 4, WHICH MAY BE REVISED ONCE SOIL TESTS OF SUBGRADE ARE PERFORMED.
- B. A SMOOTHING GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER ON THE ROADWAY.
- C. STANDARD GUARD RAILS AND HANDRAILS SHALL BE INSTALLED AT THOSE LOCATIONS AS DESIGNATED DURING FINAL FIELD INSPECTION BY LOUDOUN COUNTY OR VDOT.
- D. APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.

LOUDOUN WATER NOTES:

1. ALL WATER MAINS AND SANITARY SEWERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT LOUDOUN WATER STANDARDS AND SPECIFICATIONS.
2. NO BLASTING IS PERMITTED WITHIN 25' OF EXISTING LOUDOUN WATER UTILITIES.
3. WATER SERVICES MUST MAINTAIN A MINIMUM 6' HORIZONTAL SEPARATION FROM SANITARY LATERALS.
4. ALL LOUDOUN WATER SANITARY AND WATER MAIN EASEMENTS MUST BE 10', UNLESS OTHERWISE NOTED.
5. SANITARY SEWERS AND WATER MAINS TRAVERSING LOT LINES MUST MAINTAIN A MINIMUM 15' HORIZONTAL SEPARATION FROM PROPOSED OR EXISTING BUILDINGS.
6. ALL HYDRANTS AND METER CROCKS MUST MAINTAIN 5' HORIZONTAL SEPARATION FROM EDGE OF DRIVEWAY APRONS.
7. WATER MAINS MUST MAINTAIN A MINIMUM 5' HORIZONTAL SEPARATION FROM EDGE OF GUTTER PAN, EXCEPT AT DESIGNED CROSSINGS.
8. LANDSCAPING IS NOT PERMITTED WITHIN LOUDOUN WATER EASEMENTS.
9. ALL WATER MAINS MUST BE CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE NOTED.
10. A 2" DETECTABLE MARKING TAPE MUST BE PLACED ABOVE ALL WATER MAINS OUTSIDE OF PAVEMENT.
11. ALL SANITARY SEWERS MUST BE DR-25 PER AWWA C-900, UNLESS OTHERWISE NOTED.
12. ALL SANITARY SEWER LATERALS MUST BE 4" PVC AT 2.08X SLOPE UNLESS OTHERWISE NOTED AND MUST ENTER THE MAIN AT 90°.
13. A 2" DETECTABLE MARKING TAPE MUST BE PLACED ABOVE ALL SANITARY SEWER MAINS.
14. PROVIDE POSITIVE DRAINAGE FOR SANITARY MANHOLES LOCATED OUTSIDE OF PAVEMENT AREAS.
15. TOP OF MANHOLES LOCATED OUTSIDE OF PAVEMENT AREAS MUST BE 1' ABOVE FINISHED GRADE. THIS REQUIREMENTS SHALL NOT APPLY IN DEVELOPED LAWNS.
16. EXISTING SANITARY MANHOLE SHALL BE CORE BORED IN ORDER TO RECEIVE PROPOSED PIPE.
17. METER CROCKS SHALL BE 30" DEEP MINIMUM.
18. ALL SANITARY SEWER SHALL BE PVC, DR-25 (C-900) UNLESS OTHERWISE APPROVED.
19. ALL WATER MAINS TO BE CLASS 52 DUCTILE IRON PIPE (D.I.P.) (ANSIA21.50 OR A21.51). CEMENT MORTAR LINED (ANSI A21.4). UNLESS OTHERWISE SPECIFIED.
20. MAINTAIN THE MINIMUM VERTICAL CLEARANCE OF 1'6" BETWEEN CROSSING OF WATER AND SANITARY SEWER LINES UNLESS OTHERWISE NOTED.
21. ALL WATER MAINS ARE TO BE INSTALLED WITH A MINIMUM OF 4' COVER, UNLESS OTHERWISE INDICATED.
22. EXISTING MANHOLES ARE TO BE CORE BORED TO RECEIVE THE PROPOSED SEWER.

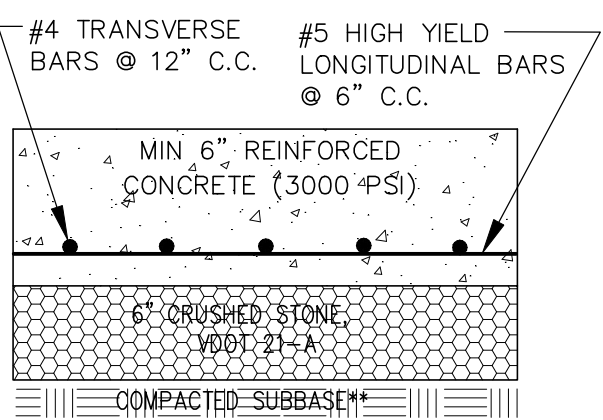
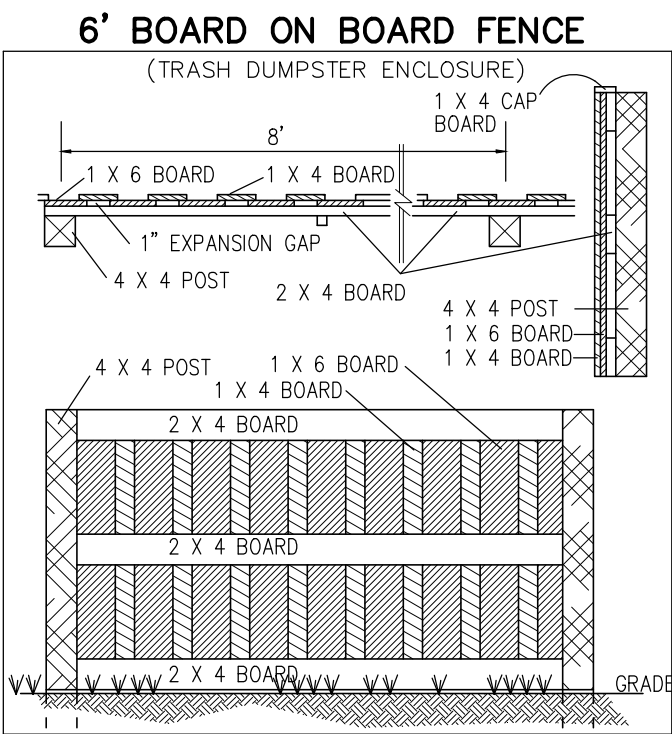
CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOUDOUN COUNTY AND VDOT STANDARDS AND SPECIFICATIONS EXCEPT AS ALTERED BY NOTES OR DETAILS HEREON.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNERS AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION, LOUDOUN COUNTY, OR ANY OTHER AUTHORITY ISSUING PERMITS.
4. A SUB-SOIL INVESTIGATION AND GEOTECHNICAL ANALYSIS WILL BE PROVIDED VIA A SEPARATE PACKAGE.
5. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
6. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CAUSING UTILITIES TO BE DISCONNECTED.
7. SITECH CONSULTING GROUP DOES NOT CERTIFY TO THE LOCATION OF OR TO THE EXISTENCE OF ANY UNDERGROUND UTILITIES. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATION OR THAT THEY HAVE ALL BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO BEGINNING ANY CONSTRUCTION. THESE TEST HOLES WILL BE MADE TO VERIFY ALL CROSSINGS BETWEEN NEW AND EXISTING FACILITIES AND AT CRITICAL GRADE CHANGES, IF CONDITIONS ARE FOUND IN THE FIELD WHICH ARE MATERIALLY DIFFERENT FROM THE PLANS, THE CONTRACTOR SHALL NOTIFY HUNTLEY, NYCE & ASSOCIATES, LTD. SO THAT APPROPRIATE REVISIONS WILL BE MADE TO THE PLANS.
8. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
9. ALL STREETS AND PARKING AREAS OUTSIDE DEDICATED RIGHT-OF-WAY ARE PRIVATELY OWNED AND MAINTAINED.
11. THE STREET LIGHT LOCATION AND CONDUIT LOCATION SHOWN ON THIS PLAN (IF ANY) ARE APPROXIMATE AND ARE SUBJECT TO CHANGE (WITHOUT NOTICE) WHEN FIELD AND/OR DESIGN CONDITIONS WARRANT.
12. ALL FILL MATERIAL UNDER PAVEMENTS AND UTILITIES SHALL BE COMPACTED TO 95% DENSITY AS DETERMINED BY AASHTO T-99 OR ASTM-d-698. DENSITY MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER. CONTROLLED FILL SHALL BE COMPACTED IN 8" (EIGHT INCH) LIFTS (LOOSE THICKNESS) TO THE SPECIFIED DENSITY, BEGINNING FROM THE EXISTING GROUND SURFACE, UNLESS OTHERWISE APPROVED IN WRITING BY A QUALIFIED SOILS ENGINEER.

VDOT GENERAL NOTES

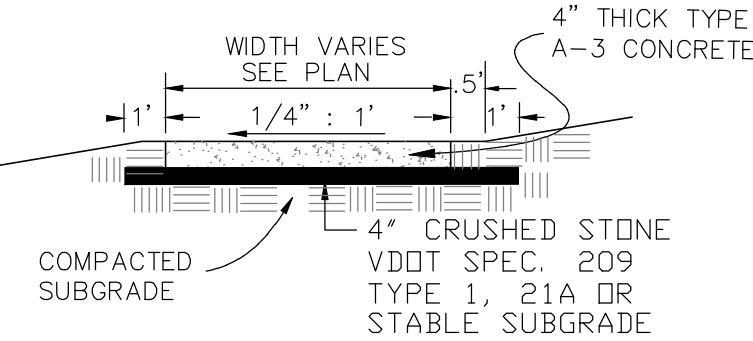
Revised 3/28/13

1. These plans were prepared in accordance with requirements of (select one):  
N/A-NO ROADS PROPOSED WITH THIS SITE PLAN.  
---- VDOT Subdivision Street Requirements (SSR 24VAC-30-91 effective January 1, 2005 and VDOT Road Design Manual Appendix B);  
---- VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-90 effective march 9, 2009 and VDOT Road and Design manual Appendix B1). Schematic street layout and computations of Connectivity Index are provided within these plans per 24VAC 30-92-60;  
---- VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective December 31, 2011 and VDOT Road and Design Manual Appendix B1). Schematic street layout with phasing diagram for street acceptance are provided with these plans per 24VAC 30-92-60.
2. Methods and materials used shall conform to current county/town and VDOT standards and specifications;
3. All utilities, including all pipes, are to be relocated at the developer's expense, prior to construction;
4. Open cutting of paved or surface treated roads is not permitted. All utilities which will be under existing streets are to be bored or jacked. Any exceptions, due to extenuating circumstances, are to be addressed at the permit stage;
5. Any type of reverse curb (spill curb, CG-6R, etc.) and transition to these curbs shall not be used within public right of way;
6. The developer is responsible for any damage to the existing roads and utilities which occur as a result of project construction within or contiguous to existing right of way;
7. A smooth grade shall be maintained from the centerline of the existing road to the proposed edge of pavement to preclude the forming of false gutter and/or the ponding of any water on the roadway;
8. Standard guard rails and/or handrails shall be installed at hazardous locations as designated during field review by the county/town inspector or VDOT;
9. The developer is responsible for all traffic control. The developer shall submit a signing, striping and/or signalization plan to the VDOT Land Development Section a minimum thirty days prior to permit application. The developer shall not commence construction of any pavement course without an approved striping plan;
10. Pavement design is based on an assumed CBR value of 10 (use CBR value of 4 in Loudoun Co). Soils test of subgrade must be submitted for actual determination of required thickness of the pavement including layers of asphalt and subbase prior to subbase placement;
11. All untreated aggregate used in base or subbase courses shall be 21B, except on roads with ADT of 1000 vpd or less where 21A aggregate may be used. When 21B aggregate is used, UD-4 underdrains must be provided;
12. A 4" (min.) layer of stone is required beneath curb and gutter (may be shown in typical section in lieu of a note);
13. Additional ditch linings or siltation and erosion control measures shall be provided, at the developer's expense, as determined necessary by VDOT and/or the county/town during field review. All costs shall be assumed by the developer;
14. The entire surface of the roadway ( old and new portions) shall be overlaid and re-striped as required by VDOT personnel. Overlay of existing pavement shall be minimum 1.25" deep; any costs associated with pavement overlay, or the milling of existing pavement to obtain required depth, shall be assumed by the developer;
15. Developer is responsible for design and construction of any traffic signal installation or modification which will be necessary as a result of development of this site;
16. All right of way dedicated to public use shall be clear and unencumbered;
17. The county/town shall obtain a permit for all sidewalks within right of way that do not qualify for VDOT maintenance;
18. Traffic control devices or advisory signs, such as multiway stops, speed limits, Watch for Children, Pedestrian Traffic, etc., shall not be installed unless specifically shown on these plans or a VDOT approved plan revision. Speed study certified by professional engineer should be submitted for VDOT approval prior to the street acceptance for any road to be posted other than the statutory speed limit. Should unapproved signs be noted at the time of VDOT inspection, the road acceptance process shall be terminated and not recommended until a determination is made regarding the approval of any additional signs. Immediate removal of such signs shall not negate the need for the submission of a revision;
19. Landscaping and irrigation systems shall not be installed within the public right of way, except as shown on these plans or a VDOT approved revision.
20. Beginning July 1, 2009 all Land use Permit applications are required to provide at least one (1) person who, at minimum, is verified by VDOT in Basic Work Zone Traffic Control for all permitted activities within state maintained right of way which involves installing, maintaining or removing work zone traffic control devices. This person shall be responsible for the placement, maintenance and removal of all work zone traffic control devices.



\*\*TOP 12" TO BE COMPACTED TO 95% OF MAX THEORETICAL DENSITY AS PER STANDARD PROCTOR, WITHIN 2% ± OF OPTIMUM MOISTURE.

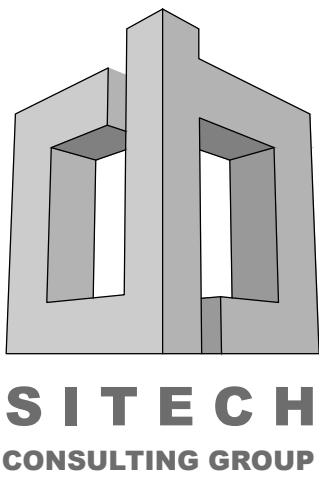
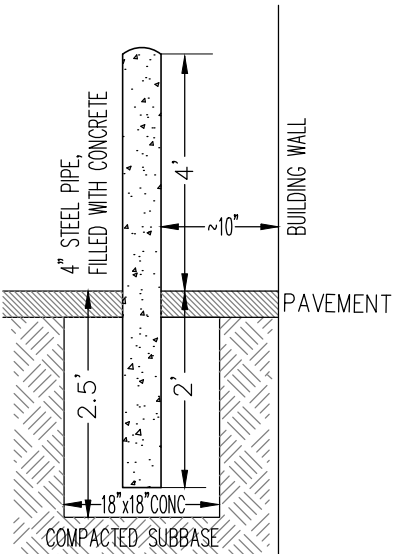
TYPICAL SECTION  
DRIVEWAY, PARKING  
DUMPSTER PAD  
NOT TO SCALE



TYPICAL SECTION  
SIDEWALK  
NOT TO SCALE

NOTE: SUBGRADE FOR ALL SIDEWALKS, SHALL BE COMPACTED TO MINIMUM 95% DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T99-61. ALL SIDEWALKS SHALL BE PRIVATELY OWNED AND MAINTAINED. SIDEWALK UNDERDRAINS ARE TO BE USED WHEN THE SIDEWALK LONGITUDINAL GRADIENT IS 3% OR MORE AND WHEN THE UNDERLYING SOIL HAS 34% OR MORE PASSING THE No. 200 SIEVE AND HAS A PI OF 13 OR LESS.

TYPICAL  
BOLLARD  
NOT TO SCALE



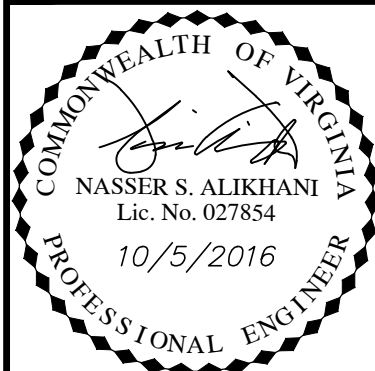
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CHURCH ROAD ANIMAL HOSPITAL  
SITE PLAN FOR ANIMAL HOSPITAL & OFFICE USE

DULLES MAGISTERIAL & POTOMAC ELECTION DISTRICTS, LOUDOUN COUNTY, VIRGINIA

NOTES, DETAILS, LEGENDS



SCALE: AS NOTED

DATE: MAR 2016

REVISIONS:

DESIGN: NSA CADD: SEA CHECK: NSA

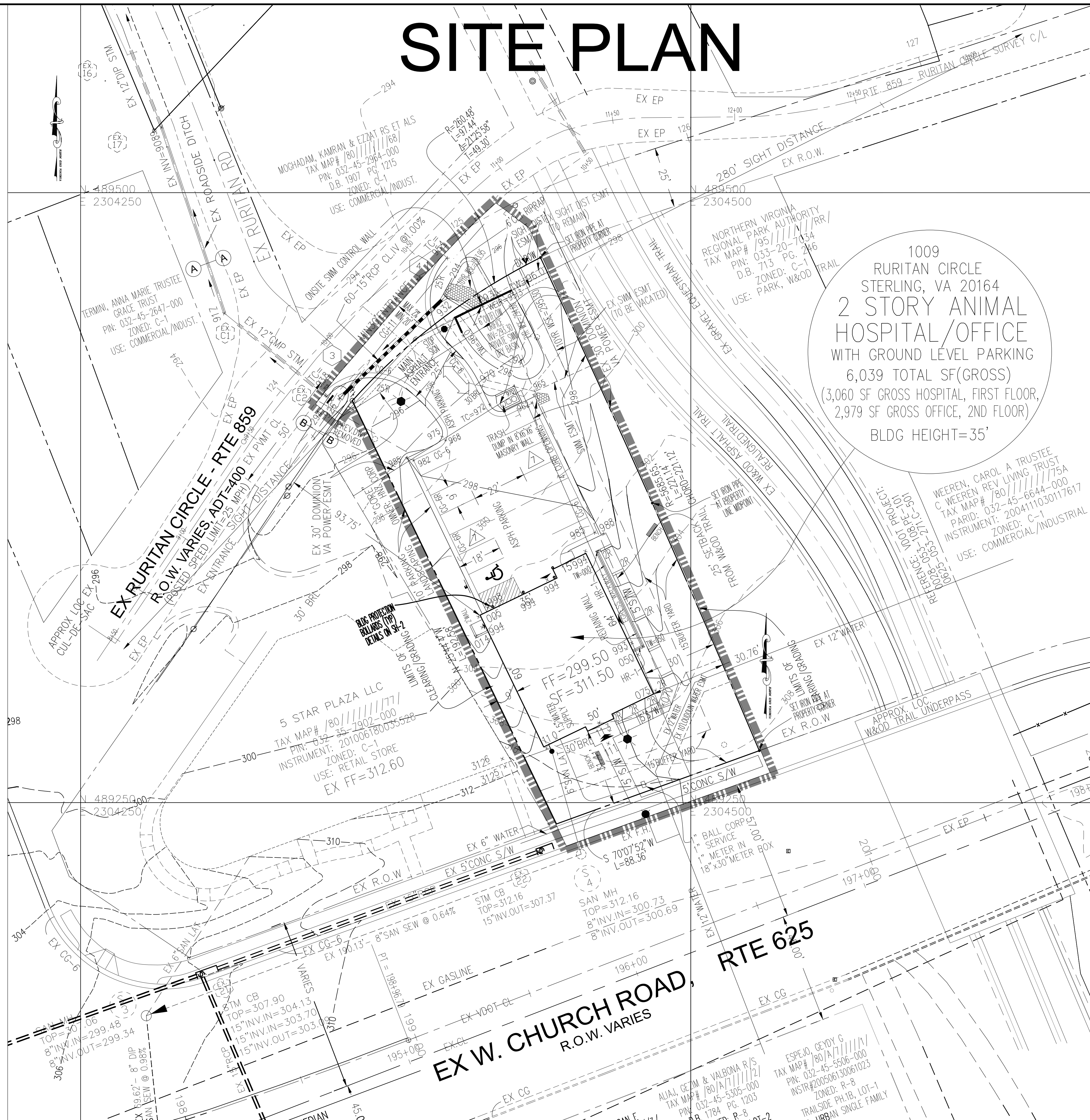
SHEET: 2 OF 11

FILE NO. 141201



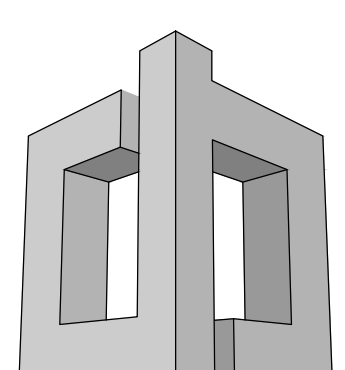


# SITE PLAN



FOR LEGENDS SEE SHEET 2

LEGEND:	
STOP SIGN	PROF. SAN. SEWER
STREET LIGHT	LIMIT OF CLEARING AND GRADING
CG-12	EX. FIRE HYDRANT
MAIL BOX	EX. STOP SIGN
STD. WATER METER	EX. STREET SIGN
PROP. FIRE HYDRANT	EX. CG-12
FIRE LANE	EX. SAN. SEWER
PROP. STORM	EX. STORM
TREE LINE	EX. STREET LIGHT
STD. CURB (CG-6)	EX. TREE LINE
STD. REV. CURB (CG-6R)	BRICK PAVEMENT
GAZEBO	LOADING SPACE
FIRE LANE SIGN	TREE GRATE



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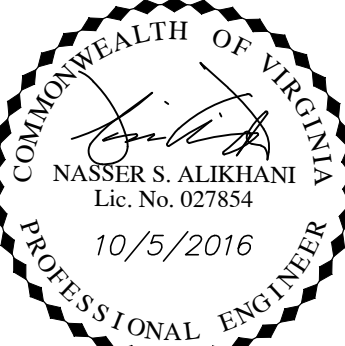
12146 Paper Birch Ln  
Gainesville, VA 20155  
703-927-2300  
Nasser@SitechCG.com

## CHURCH ROAD ANIMAL HOSPITAL

SITE PLAN FOR ANIMAL HOSPITAL & OFFICE USE

DULLES MAGISTERIAL & POTOMAC ELECTION DISTRICTS, LOUDOUN COUNTY, VIRGINIA

SITE PLAN & SIGHT DISTANCE



SCALE:	1" = 20'	
DATE:	MAR 2016	
REVISIONS:		

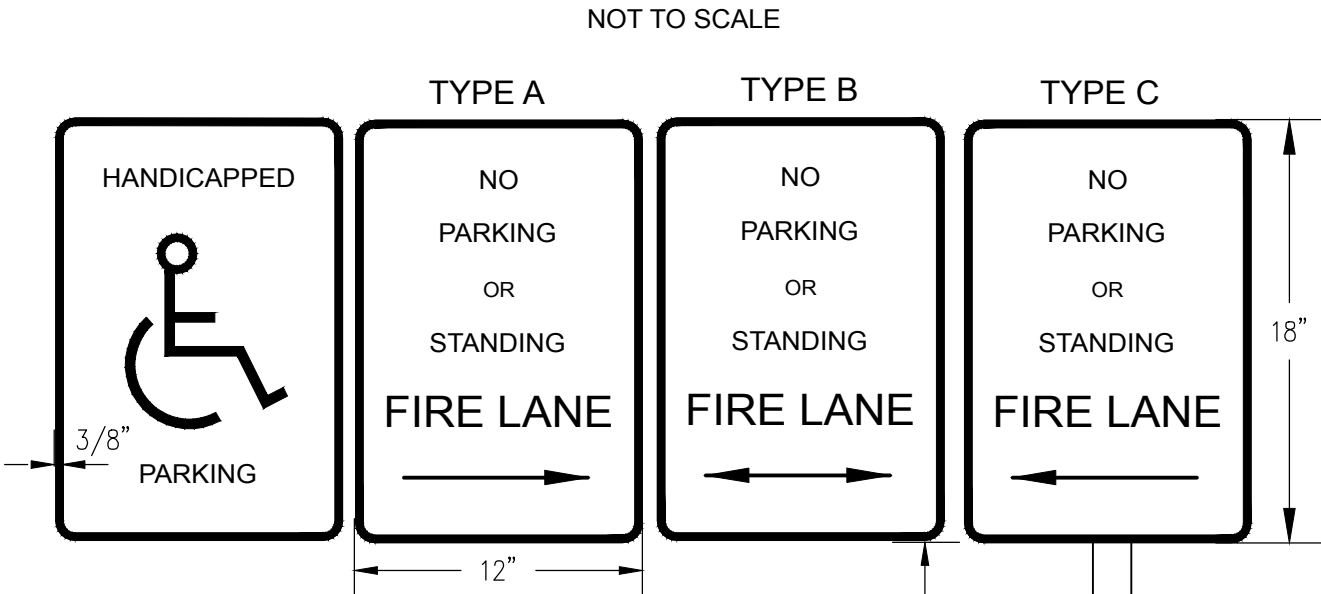


E/S CONTROL LEGEND			
FOR FULL DETAILS REFER TO CURRENT VESCH (VIRGINIA EROSION/SEDIMENT CONTROL HANDBOOK)			
SPEC NO	TITLE	KEY	SYMBOL
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	(CE)	
3.04	STRAW BALE BARRIER	(STB)	
3.05	SILT FENCE	(SF)	
3.07	STORM DRAIN INLET PROTECTION	(IP)	
3.07	STORM DRAIN INLET PROTECTION (REINFORCED FOR DIST AC)	(IP)	
3.08	CULVERT INLET PROTECTION	(CIP)	
3.09	TEMPORARY DIVERSION DIKE	(DD)	
3.11	TEMPORARY RIGHT-OF-WAY DIVERSION	(RWD)	
3.13	TEMPORARY SEDIMENT TRAP	(ST)	
3.14	TEMPORARY SEDIMENT BASIN	(SB)	
3.18	OUTLET PROTECTION	(OP)	
3.19	RIPRAP	(RR)	
3.20	ROCK CHECK DAMS	(CD)	
3.31	TEMPORARY SEEDING	(TS)	
3.32	PERMANENT SEEDING	(PS)	
3.38	TREE PROTECTION	(TP)	





SPECIFICATIONS FOR FIRE LANE & HANDICAP SIGNS



NOTES:  
SIGN DIMENSIONS - 12" x 18"  
3/8" RED TRIM NEAR OUTSIDE BORDER  
LETTERING: RED ON WHITE BACKGROUND  
"NO PARKING", "STANDING" - 2" HIGH  
"OR" - 1" HIGH  
"FIRE LANE" - 2 1/2" HIGH  
ARROWS - 1" HIGH SOLID LINE  
POST (IF USED) - FLOURESCENT YELLOW  
AND METAL CONSTRUCTION

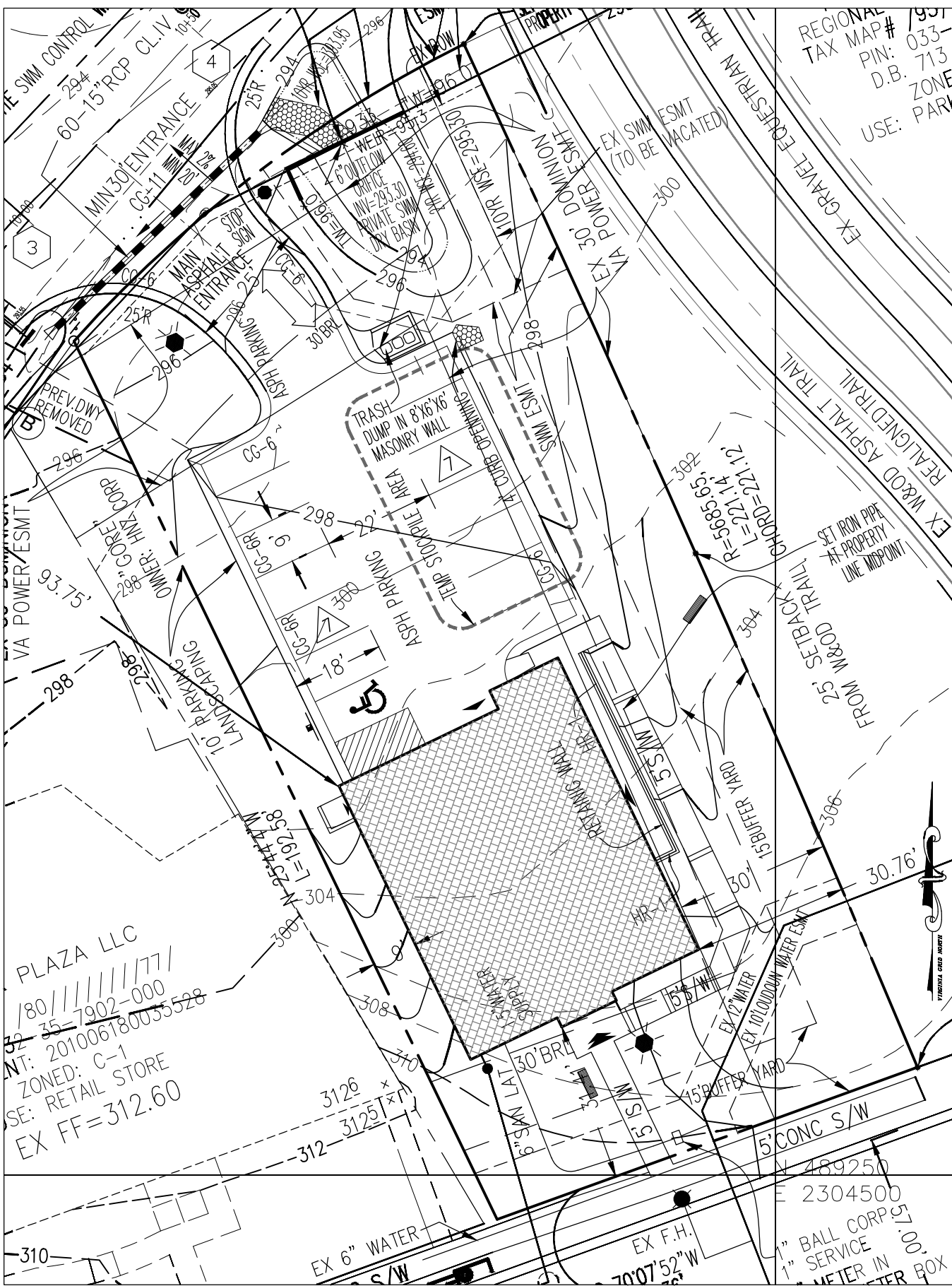
- A ▶ DENOTES FIRE LANE SIGN  
AND TYPE (A, B OR C)
- ..... DENOTES PAINTED  
CURB INDICATING  
FIRE LANE.
- ▲ DENOTES  
MAIN ENTRANCE
- ▲ DENOTES  
OTHER ENTRANCES

E/S CONTROL LEGEND

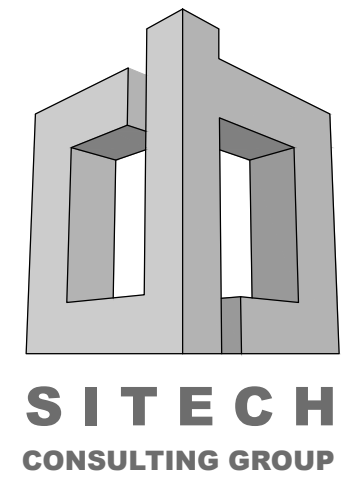
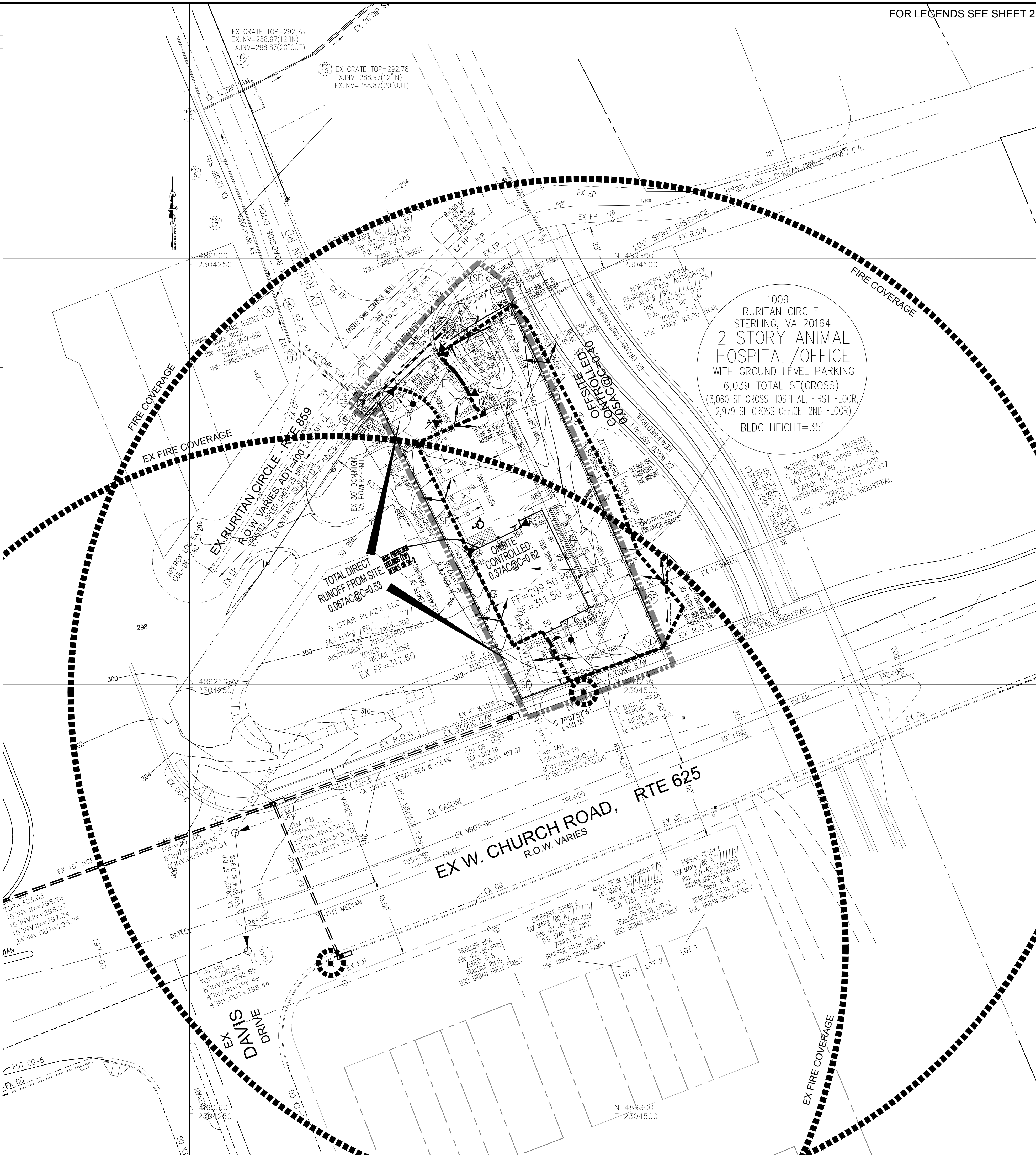
REFER TO CURRENT VA E/S CONTROL HANDBOOK

SPEC NO	TITLE	KEY	SYMBOL
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION	IP	
3.07	STORM DRAIN INLET PROTECTION (REINFORCED FOR DASH AC)	IP	
3.09	TEMPORARY DIVERSION DIKE	DD	
3.11	TEMPORARY RIGHT-OF-WAY DIVERSION	RWD	
3.13	TEMPORARY SEDIMENT TRAP	ST	
3.14	TEMPORARY SEDIMENT BASIN	SB	
3.18	OUTLET PROTECTION	OP	
3.19	RIPRAP	RR	
3.20	ROCK CHECK DAMS	CD	
3.31	TEMPORARY SEEDING	TS	
3.32	PERMANENT SEEDING	PS	
3.38	TREE PROTECTION	TP	

FIRST FLOOR FOOTPRINT (HATCHED AREA)  
SCALE: 1"=30'



FOR LEGENDS SEE SHEET 2

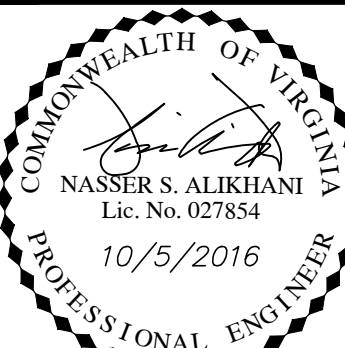


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**CHURCH ROAD ANIMAL HOSPITAL**  
SITE PLAN FOR ANIMAL HOSPITAL & OFFICE USE  
DULLES MAGISTERIAL & POTOMAC ELECTION DISTRICTS, LOUDOUN COUNTY, VIRGINIA  
EROSION/SEDIMENT CONTROL PHASE-2 & FIRE HYDRANT COVERAGE



SCALE: 1"= 30'

DATE: MAR 2016

REVISIONS:

DESIGN: NSA CADD: SEA CHECK: NSA

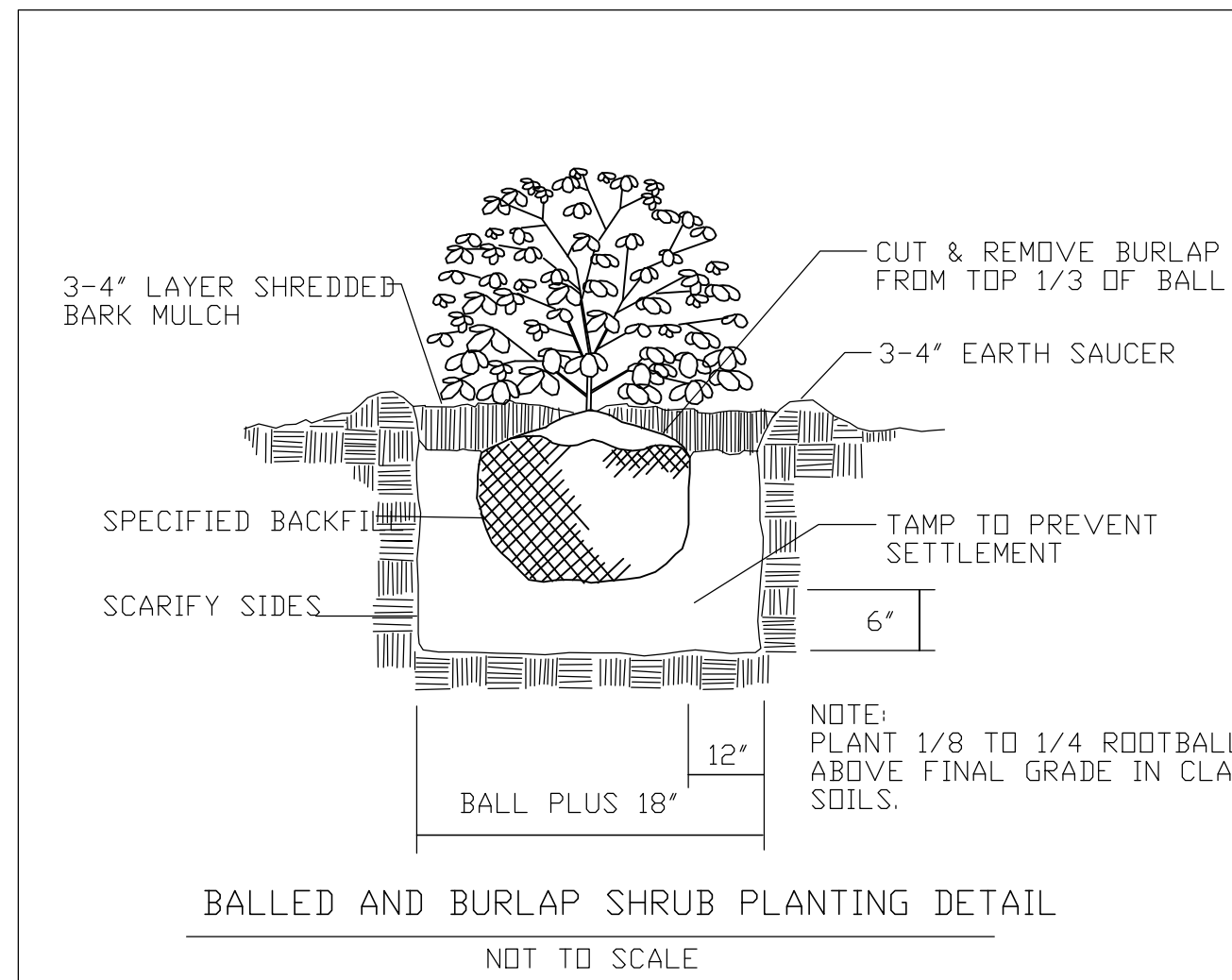
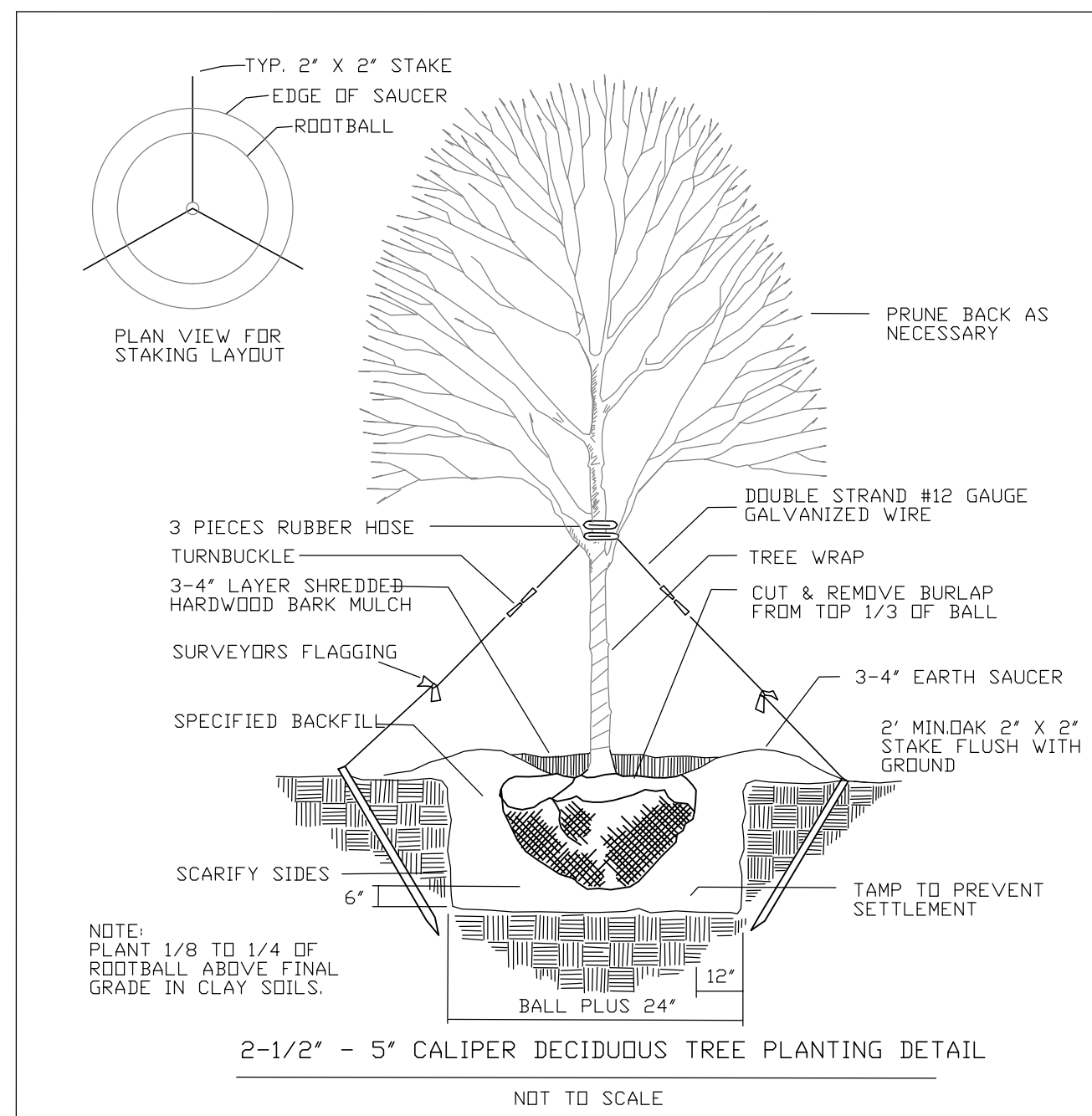
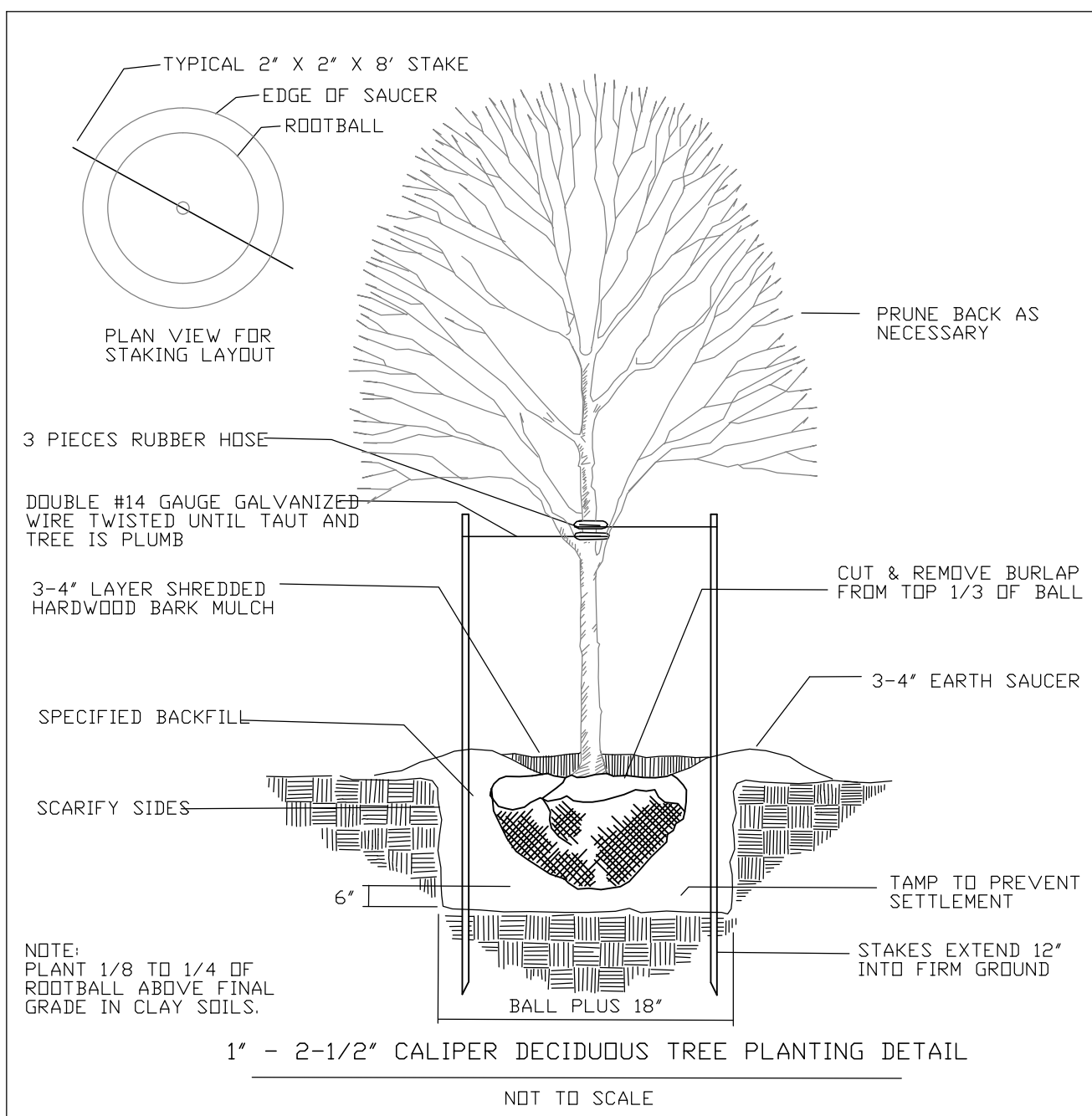
SHEET: 6 OF 11

FILE NO. 141201

SP-2016-



**PLANTING & MAINTENANCE OF MATERIAL:**  
PLEASE REFER TO CURRENT VESCH (VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK) FOR THE GUIDELINES ON PLANTING AND MAINTENANCE OF THE MATERIAL.



## BUFFER YARDS REQUIREMENTS : ( LOUDOUN COUNTY ZONING )

BUFFER TYPE	FRONT YARD						REAR YARD						SIDE YARD					
	MIN WIDTH	CANOPY	UNDERSTORY	SHRUBS/100 LF	EVERGREEN	BERM ***	MIN WIDTH	CANOPY	UNDERSTORY	SHRUBS/100 LF	EVERGREEN	BERM ***	MIN WIDTH	CANOPY	UNDERSTORY	SHRUBS/100 LF	EVERGREEN	BERM ***
TYPE 1	10'	2	-	-	-	-	10'	1	4	-	6	-	15'	2	3	-	6	-
TYPE 2	15'	3	2	-	10	-	20'	2	6	-	10*	-	15'	2	3	-	6	-
TYPE 3	20'	3	3	-	24	-	25'	4	7	-	30*	-	20'	2	5	-	20	-
TYPE 4	20'	4	3	-	20	-	30'	4	7	10	15	-	20'	2	3	6	25	-

NOTES: \* 75% OF WHICH MUST BE EVERGREENS.  
\*\* A SIX FOOT HIGH STOCKADE FENCE, PROVIDING MINIMUM OPACITY OF 95%, OR A SIX FOOT HIGH MASONRY WALL.  
\*\*\* AN EARTHEN BERM WITH A MINIMUM HEIGHT OF 4 FEET WITH A SLOPE NOT TO EXCEED 3:1, PLANTED WITH TURF OR GROUND COVER MATERIAL, REQUIRED WHEN ADJACENT TO AN ARTERIAL ROAD.

## BUFFER YARDS PLANTING :

LOCATION & BUFFER YARD TYPE	REQUIRED				EXISTING				ADD. PROPOSED				TOTAL PROVIDED			
	CANOPY	UNDERSTORY	SHRUBS	EVERGREEN	CANOPY	UNDERSTORY	SHRUBS	EVERGREEN	CANOPY	UNDERSTORY	SHRUBS	EVERGREEN	CANOPY	UNDERSTORY	SHRUBS	EVERGREEN
ADJACENT TO EX W. CHURCH ROAD 89' TYPE 2 FRONT YARD BUFFER (15' WIDE)	3	2	9	-	-	-	-	-	3	2	9	-	3	2	9	-
ADJACENT TO EX RURIAN CIRCLE 97' PARKING BUFFER, 1 TREE/25' (10' WIDE)	4	-	-	-	-	-	-	-	4	-	-	-	4	-	-	-
ADJACENT TO EX W&O D TRAIL 221' TYPE 2 SIDE YARD BUFFER (15' WIDE)	5	7	18	-	-	-	-	-	5	7	18	-	5	7	18	-
ADJACENT TO WESTERN LOT LINE -RETAIL/OFFICE 70' PARKING LANDSCAPING	2	-	11	-	-	-	-	-	2	-	11	-	2	-	11	-

## PARKING LOT & LOADING SPACE LANDSCAPING/SCREENING :

PROVIDE 6 SHRUBS/40' + 1 CANOPY TREE/35' ALONG WESTSIDE OF PARKING LOT, REF: SECTION 560.13(C)(1).  
PROVIDE 6' HIGH MASONRY SCREEN WALLS AT THE LOADING SPACE, COMPATIBLE WITH THE BUILDING DESIGN.

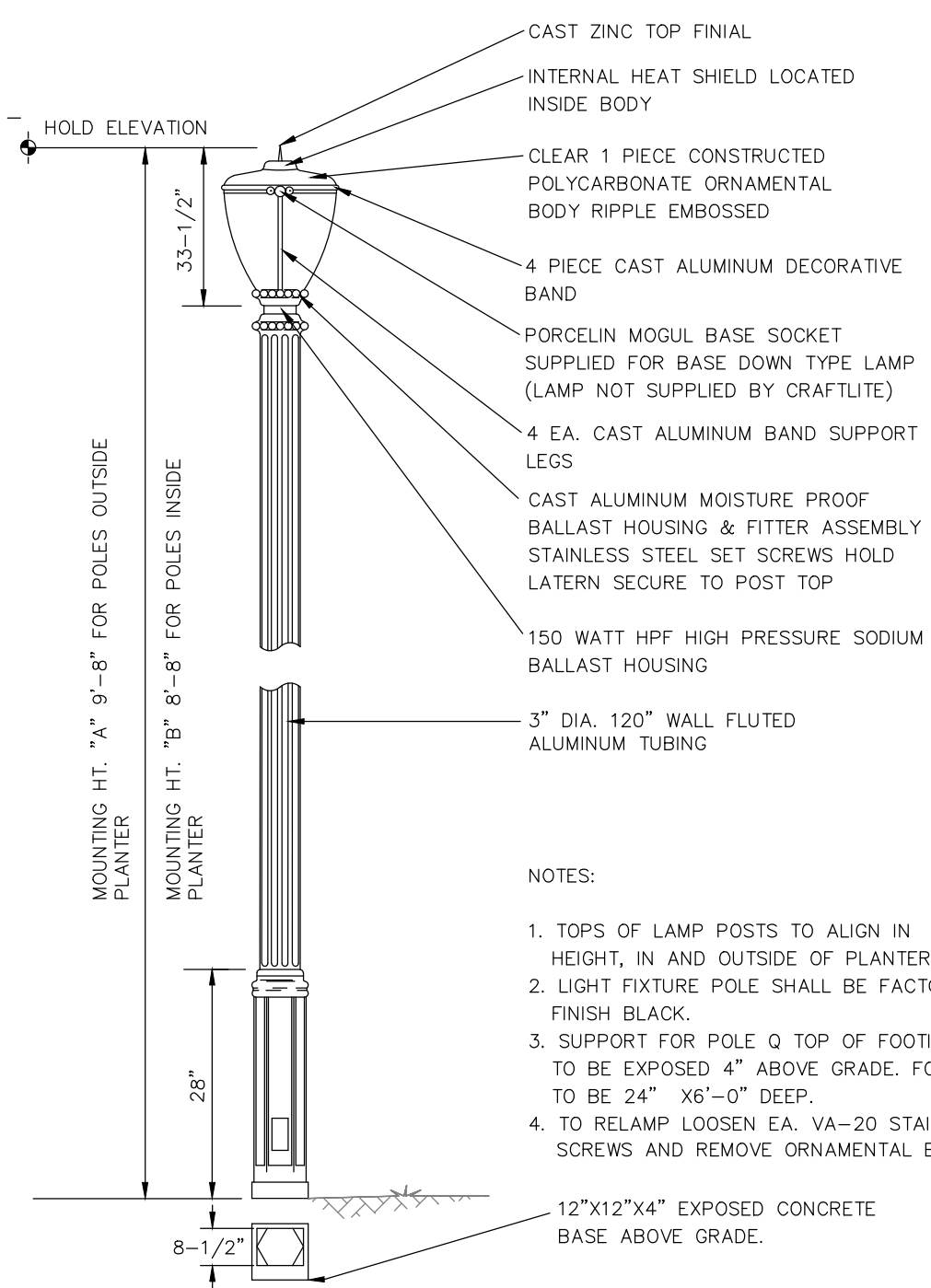
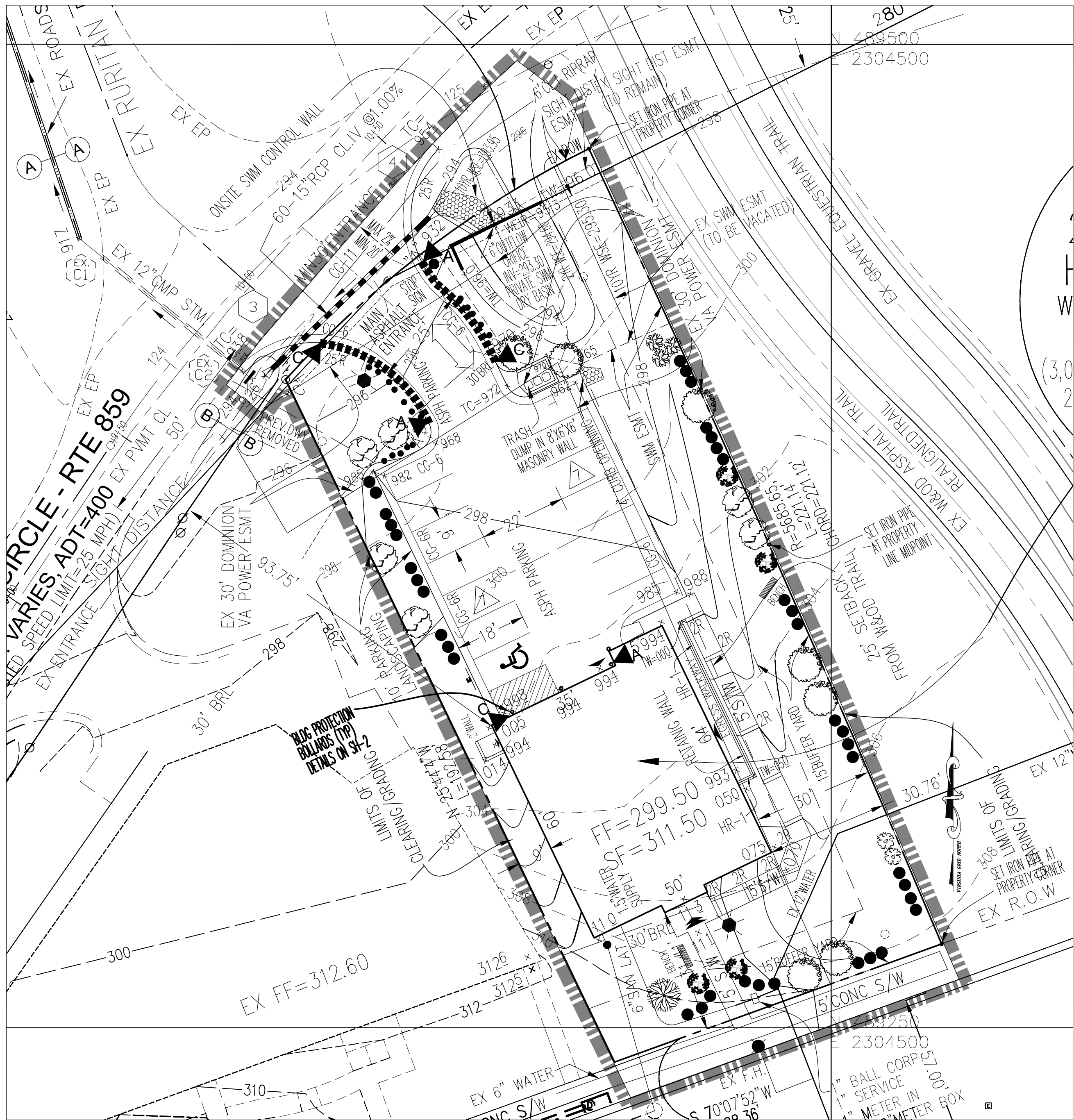
## TREE CANOPY REQUIREMENT:

TREE COVERAGE REQUIRED:  
TOTAL SITE AREA= 0.4440 AC OR 19,339 SF  
-R.O.W DEDICATION: NONE  
NET SITE AREA = 19,339 SF  
TOTAL CANOPY REQUIRED (10%) = 1,934 SF  
CANOPY COVERAGE PROVIDED:  
CANOPY FROM BUFFER YARD TREES (THIS PROJECT):  
(6 MAPLE)200+(7 OAK)200+(1 LONDON)200  
+(3 REDBUD)100+(4 CHERRY)150+(2 PEAR)150 = 4,000 SF  
TOTAL CANOPY PROVIDED:  
4,000 SF PROVIDED >> 1,934 SF REQUIRED. OK

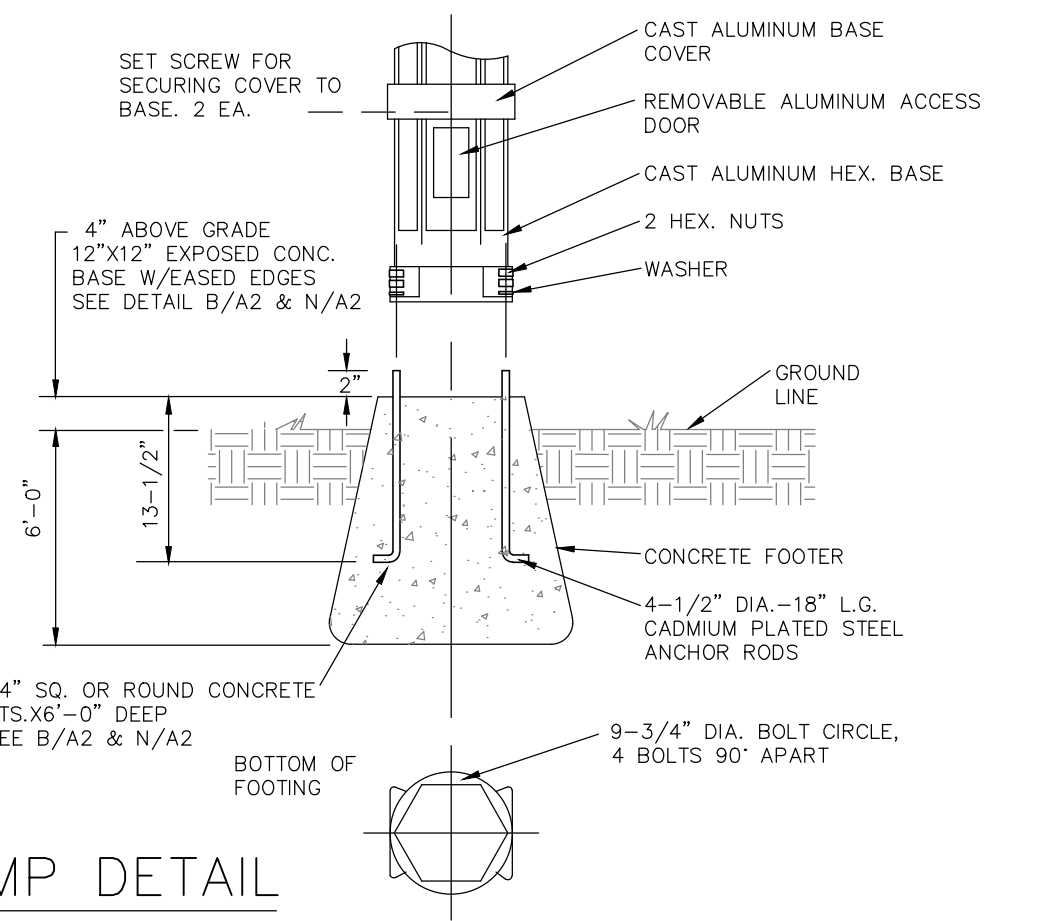
## PLANTING LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	CANOPY AREA
CANOPY TREES						
1	ACER RUBRUM	RED MAPLE	6	2" CAL.	B & B	200 SF
2	QUERCUS RUBRA (BOREALIS)	NORTHERN RED OAK	7	2" CAL.	B & B	200 SF
3	PLATANUS ACERFOLIA	LONDON PLANE TREE	1	2" CAL.	B & B	200 SF
UNDERSTORY TREES						
4	CERCIS CANADENSIS	REDBUD	3	2" CAL.	B & B	100 SF
5	PYRUS CALLERYANA	CALLERY PEAR	2	2" CAL.	B & B	150 SF
6	PRUNUS YEDOENSIS	YOSHINO CHERRY	4	2" CAL.	B & B	150 SF
EVERGREEN TREES						
SHRUBS						
7	VARIOUS SPECIES	VIBURNUM	14	MIN. 30"	B & B	NOTE: 75% OF ALL PROPOSED SHRUBS TO BE EVERGREEN
8	EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	9	MIN. 18"	B & B	
9	VARIOUS SPECIES	SPIREA	15	MIN. 18"	B & B	

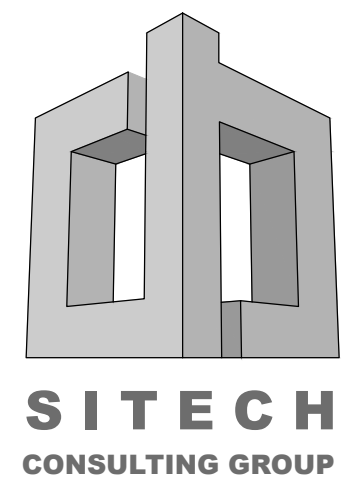
NOTES:  
1. BACKFILL TREES AND SHRUBS WITH TOPSOIL AND PEAT MOSS (OR LEAF MOLD) 3:1 RATIO BY VOLUME.  
2. ALL PLANT MATERIAL TO BE NURSERY GROWN AND COMPLY WITH CURRENT "AMERICAN STANDARD FOR NURSERY STOCK" PRACTICES.  
3. SPRAY TREES AND SHRUBS WITH ANTI-DESICCANT, IF FOLIAGE IS PRESENT.  
4. EVERGREEN TREES AND SHRUBS SHALL BE PLANTED THE SAME AS DECIDUOUS PLANTS. PRUNE EVERGREENS TO GIVE COMPACT UNIFORM APPEARANCE.



**FSM LIGHTING NOTES:**  
1. FULL CUTOFF AND FULLY SHIELDED LIGHT FIXTURES SHALL BE UTILIZED TO MEET THE STREET AND SITE LIGHTING REQUIREMENTS OF THE FSM. (FSM 7.110.A)  
2. LIGHTING LOCATED WITHIN DEVELOPMENTS WHICH PROVIDE CUSTOMER SERVICE TO THE PUBLIC AFTER 5:00 PM SHALL HAVE A MINIMUM OF SIX TENTH (0.6) FOOT-CANDLE AT GRADE AND THE AVERAGE HORIZONTAL ILLUMINATION SHALL NOT EXCEED FORTY (40) FOOT-CANDLES AT GRADE LEVEL, SUBJECT TO A UNIFORMITY RATIO (RATIO OF AVERAGE MINIMUM ILLUMINANCE) NO GREATER THAN 4:1. (FSM 7.120.B.2)  
**LIGHTING NARRATIVE:**  
PLEASE SEE PROVIDED DETAILS ON THIS SHEET FOR THE LIGHTING SPECS. THE LIGHTING WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER. THE LIGHTING WILL BE INSTALLED IN ACCORDANCE TO THE REGULATIONS OF THE JURISDICTION. ANY REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO INSTALLATION OF OUTDOOR LIGHTING.

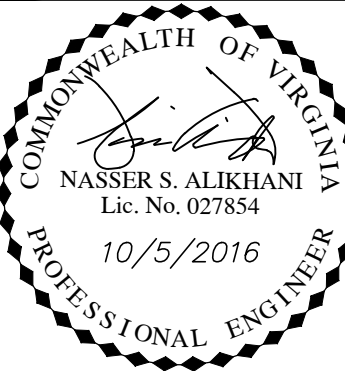


TYPICAL STREET LAMP DETAIL  
NOT TO SCALE



ENGINEERING  
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**CHURCH ROAD ANIMAL HOSPITAL**  
SITE PLAN FOR ANIMAL HOSPITAL & OFFICE USE  
DULLES MAGISTERIAL & POTOMAC ELECTION DISTRICTS, LOUDOUN COUNTY, VIRGINIA  
LANDSCAPING, LIGHTING, DETAILS & COMPS

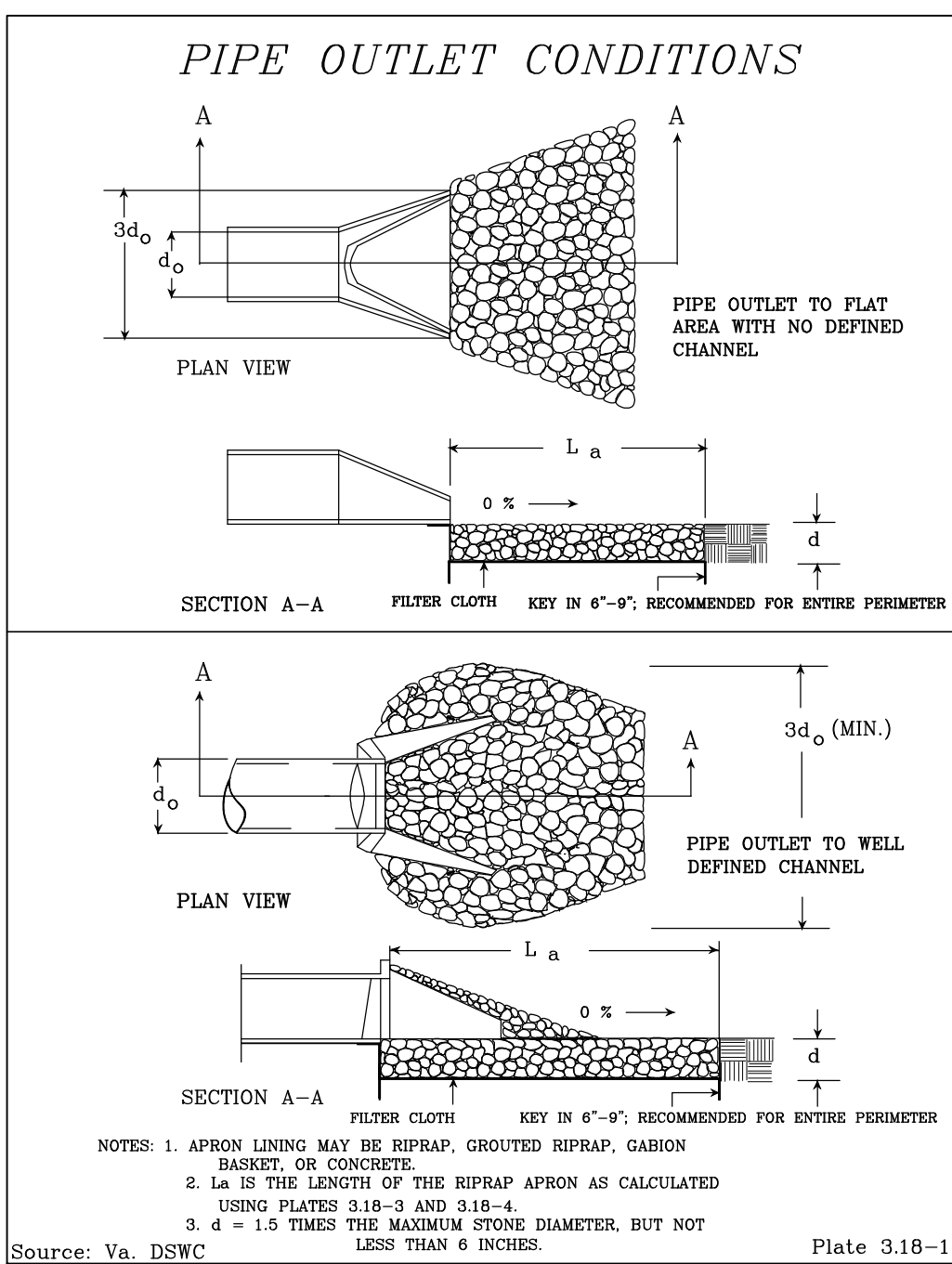
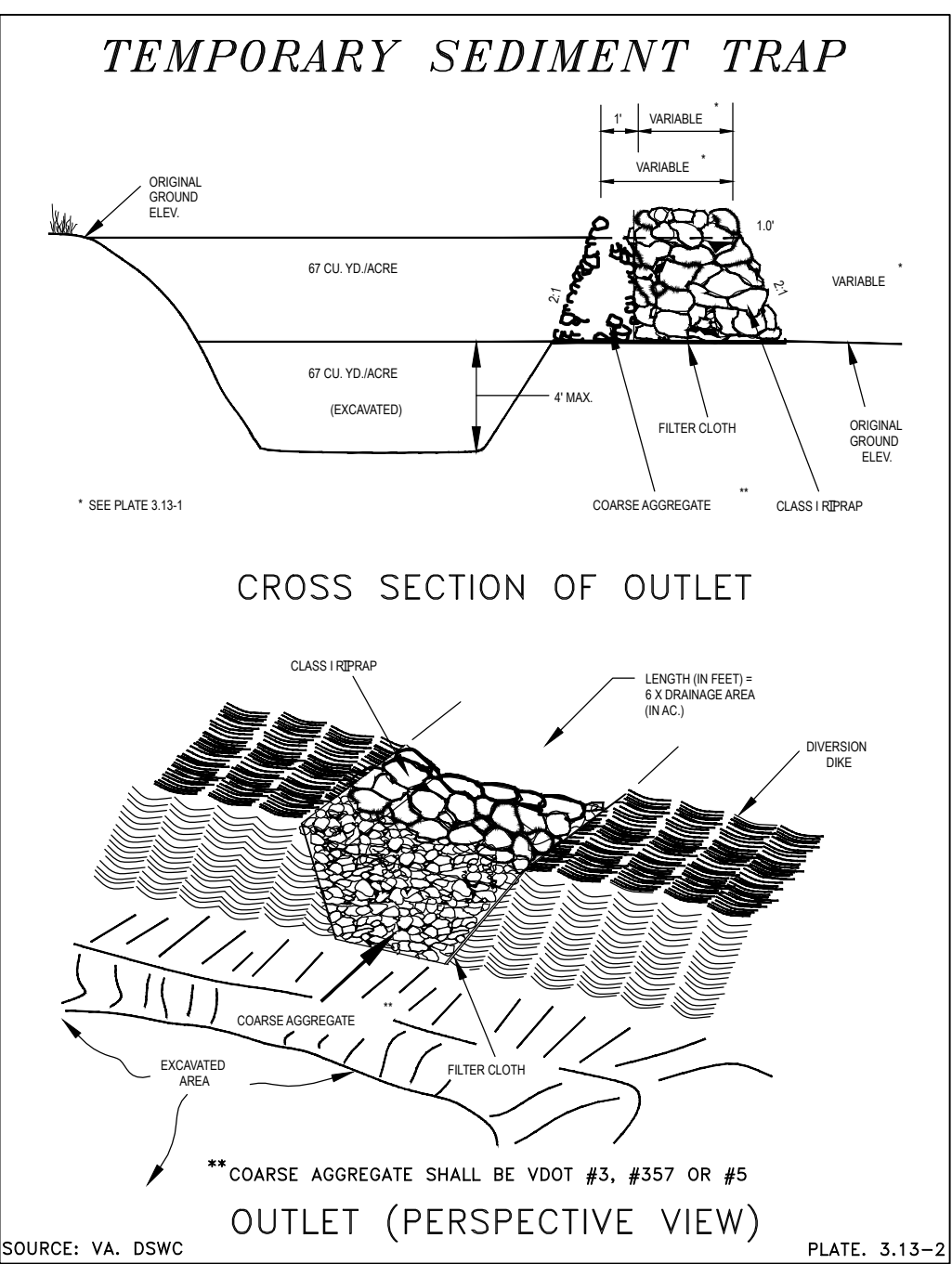
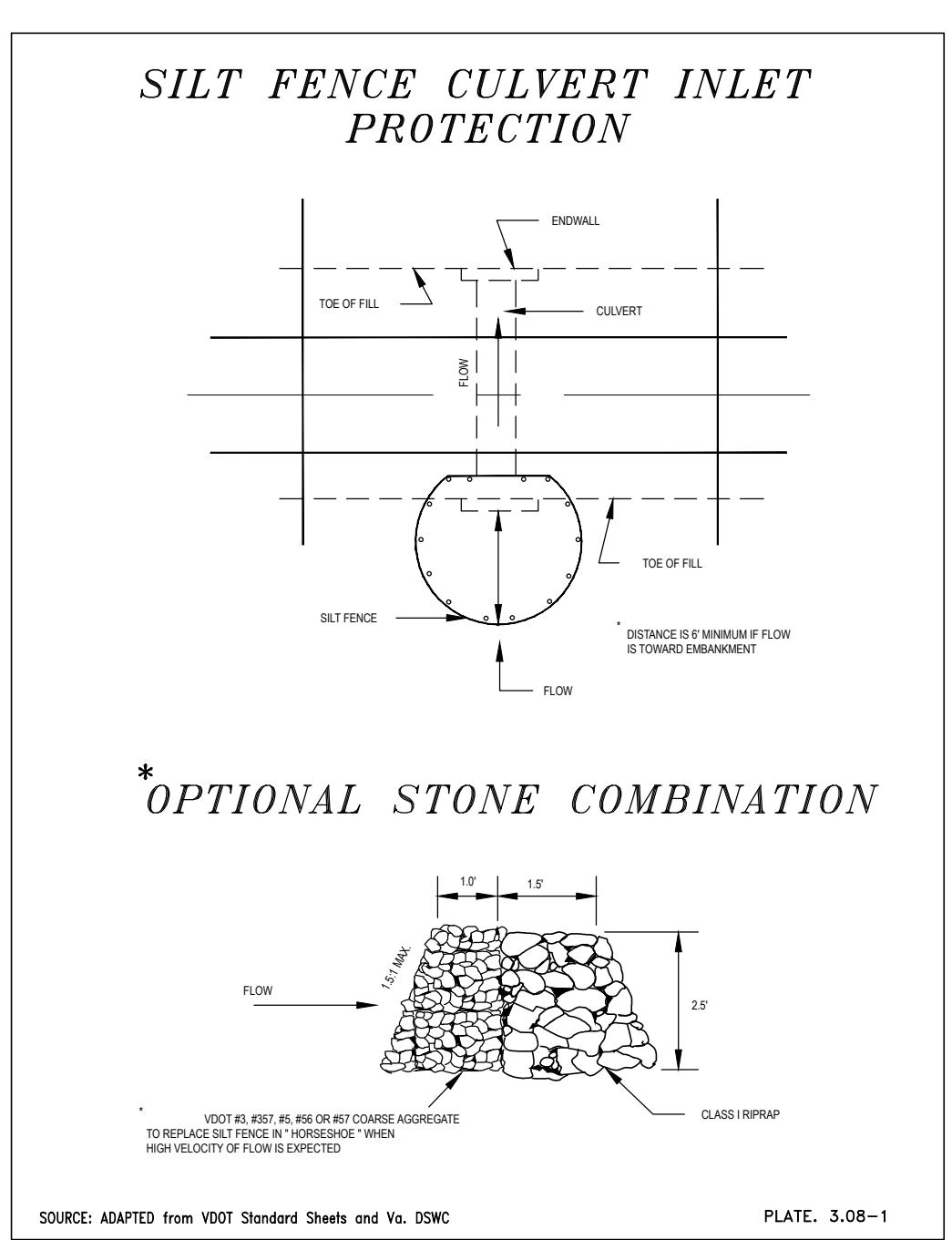
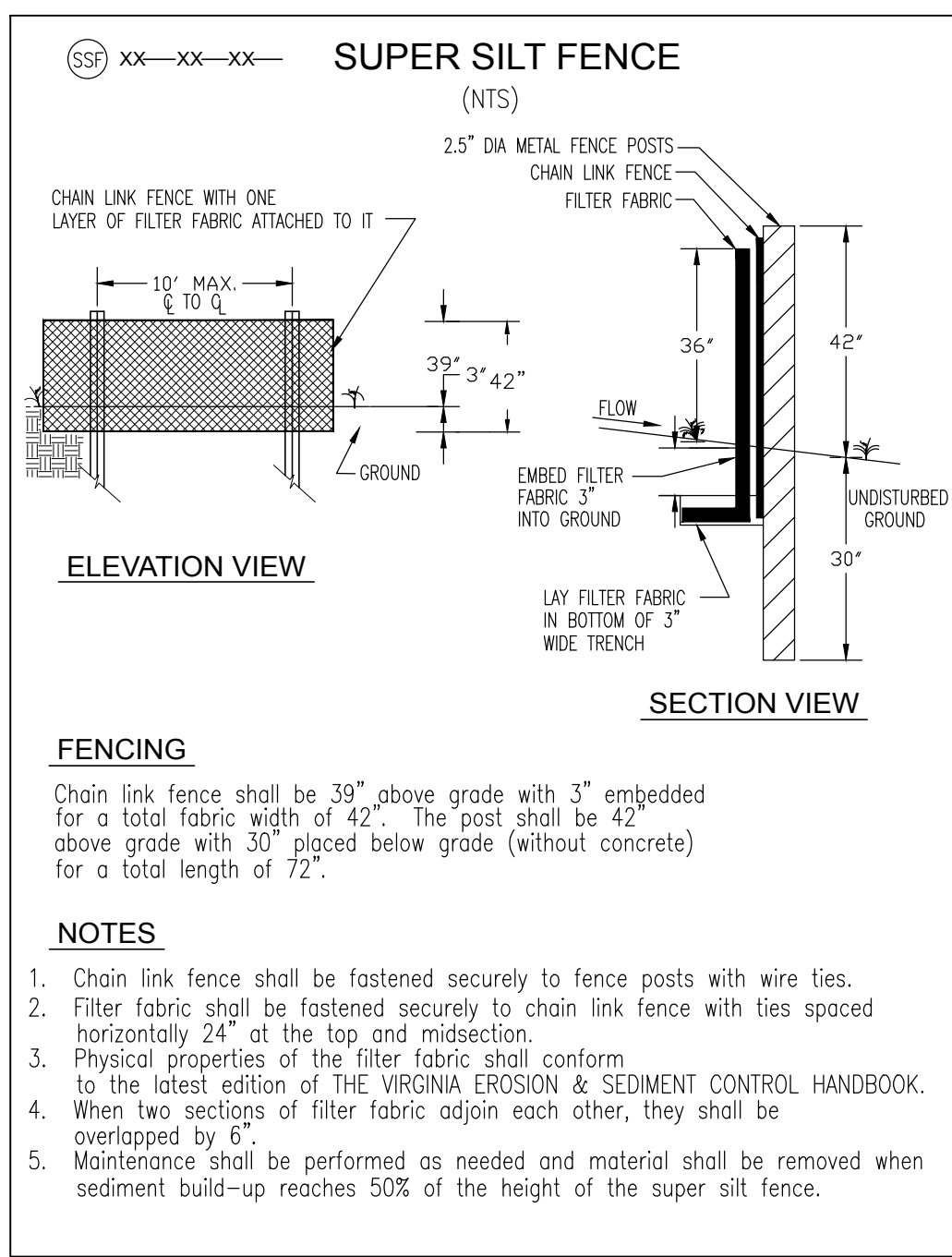
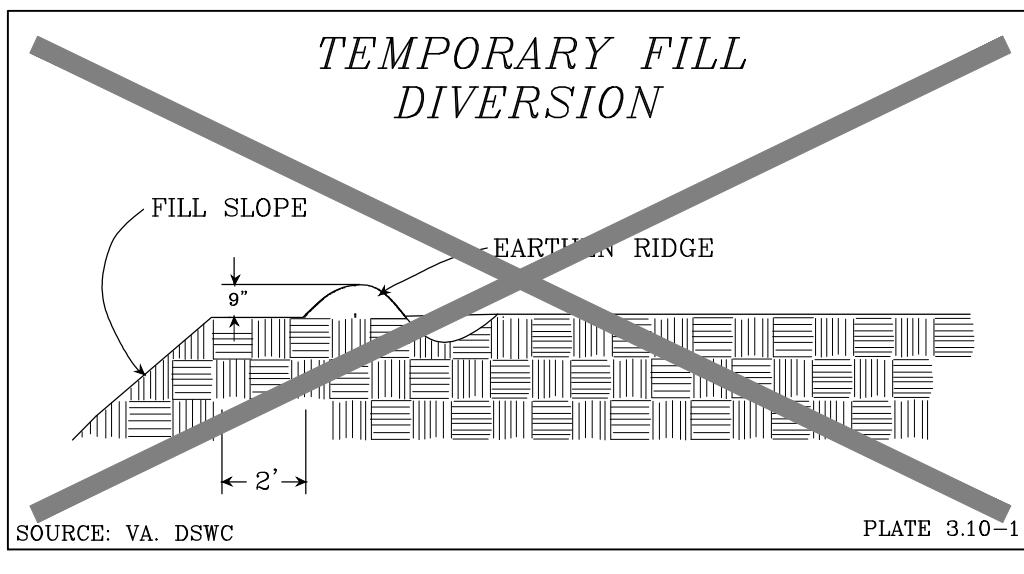
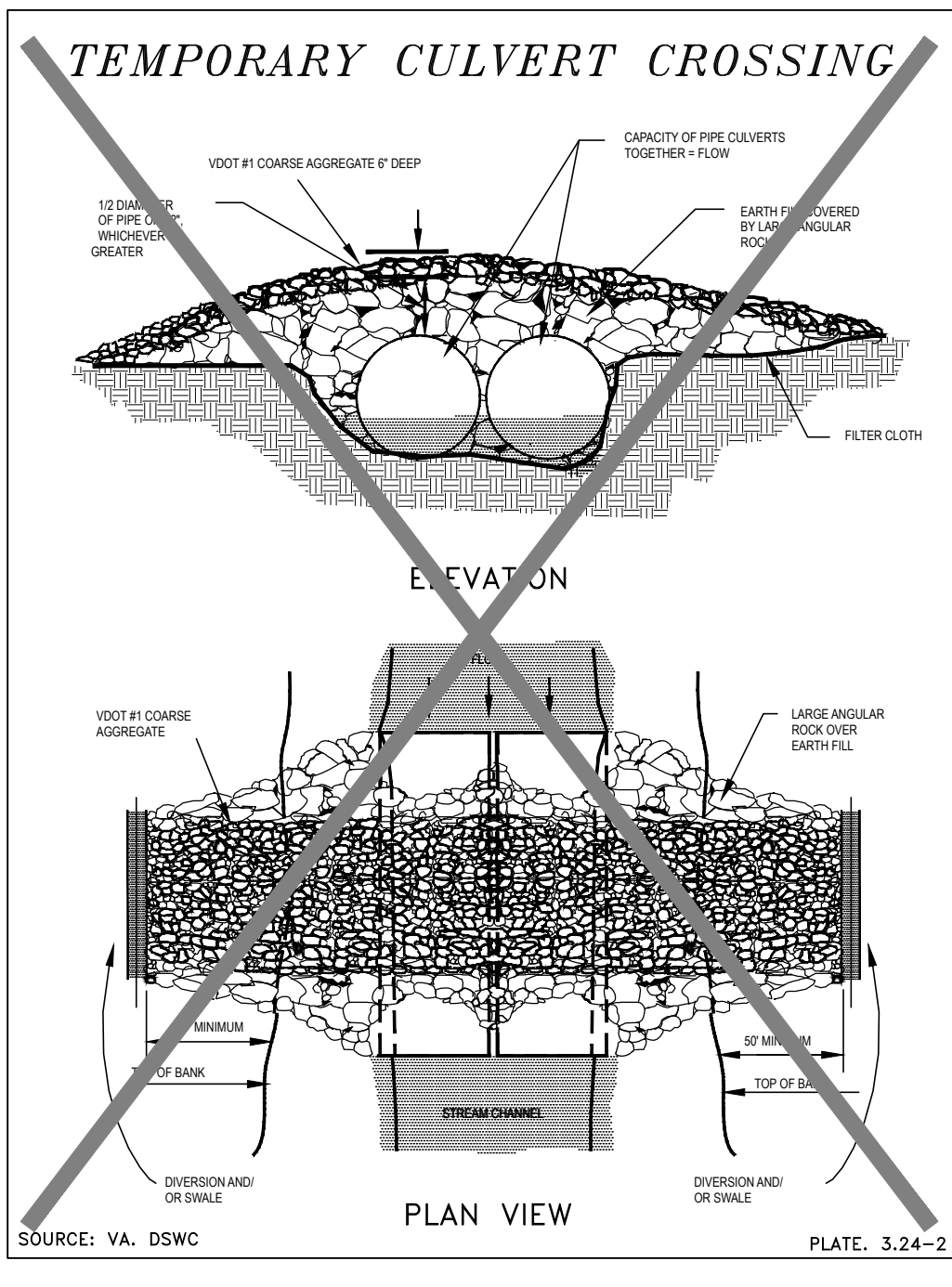
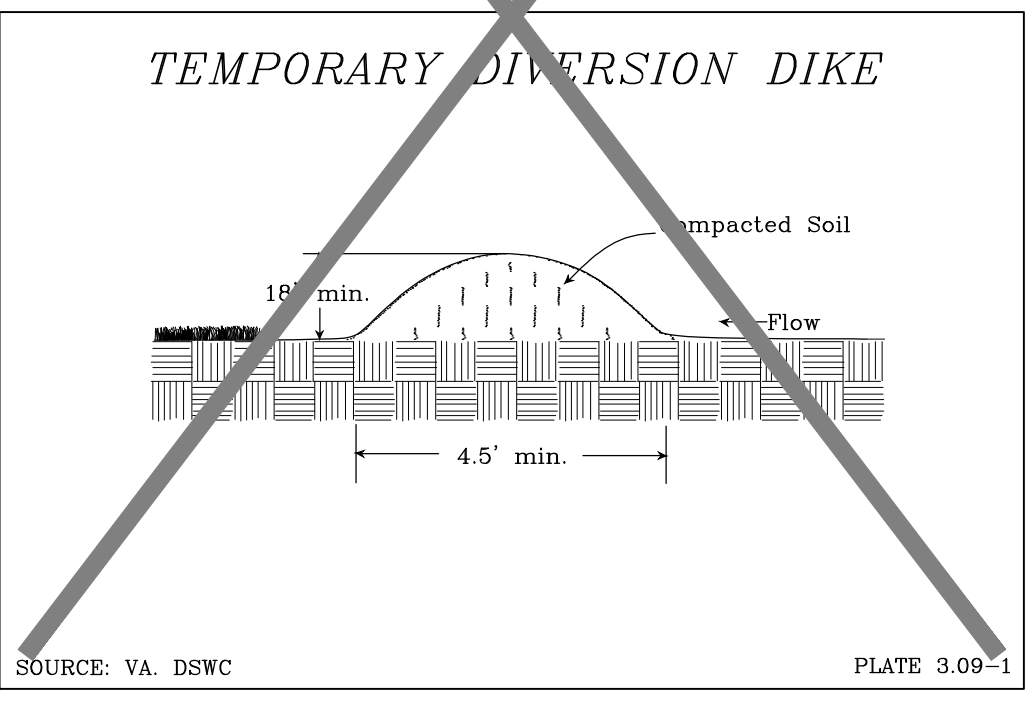
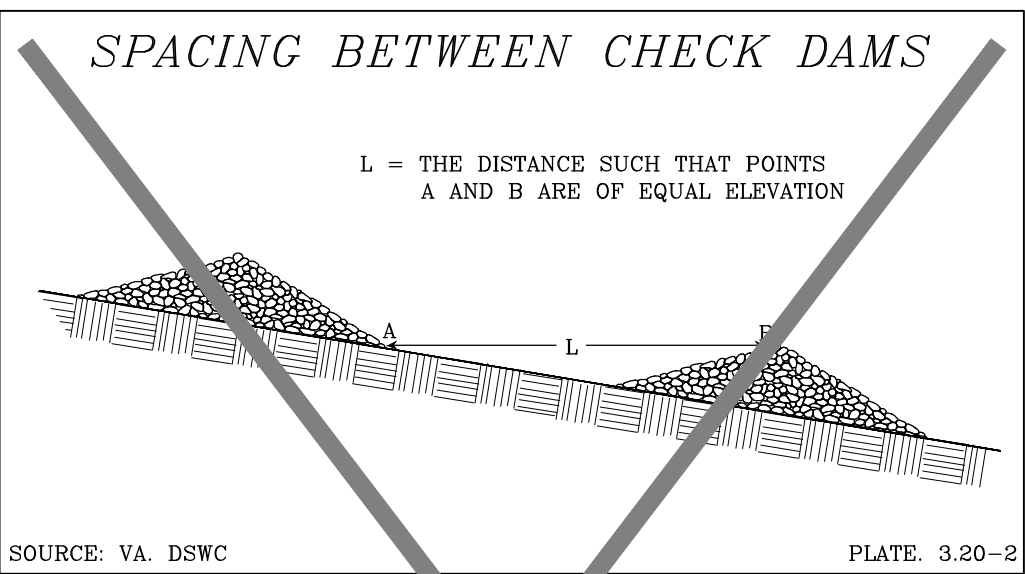
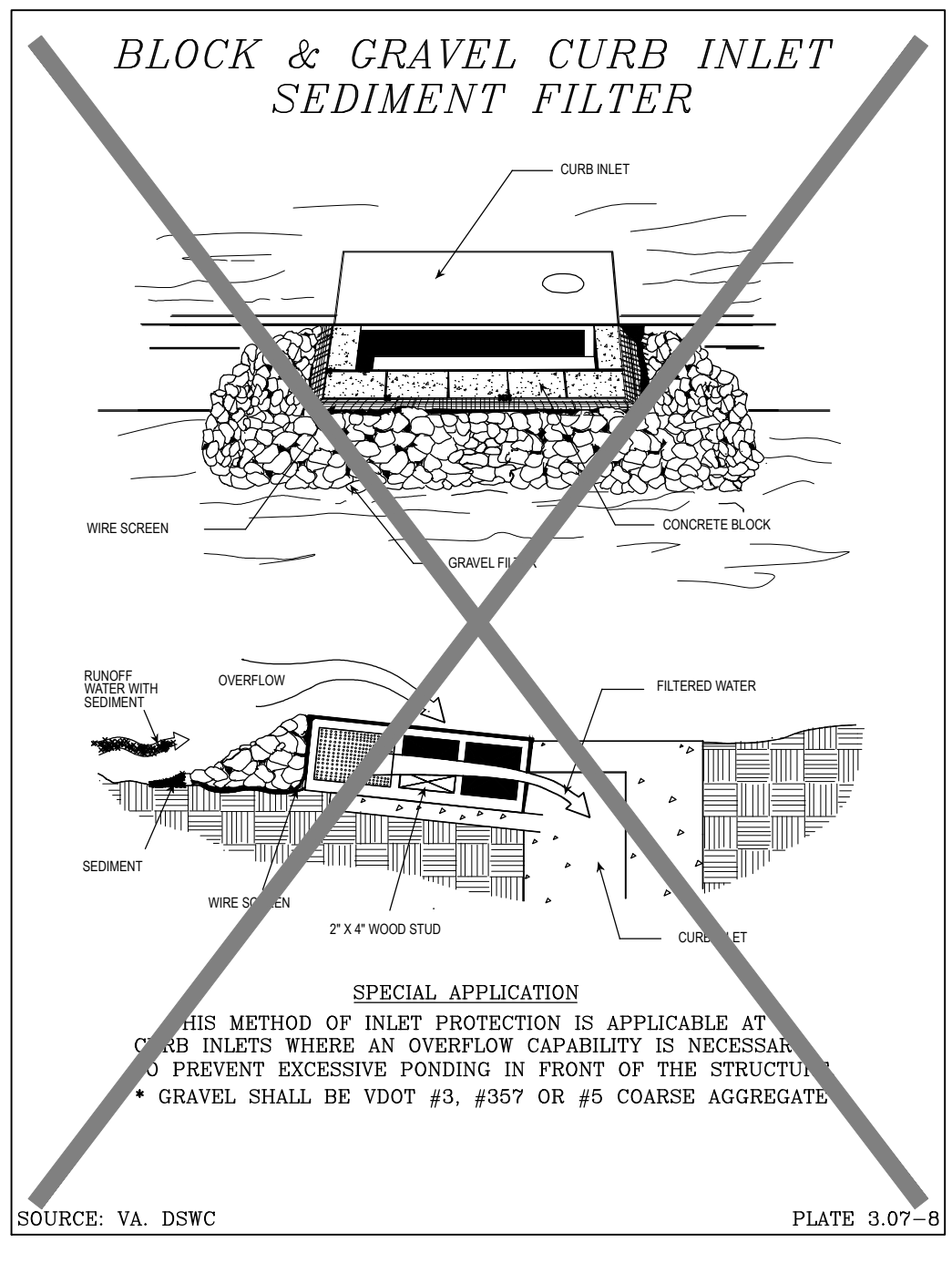
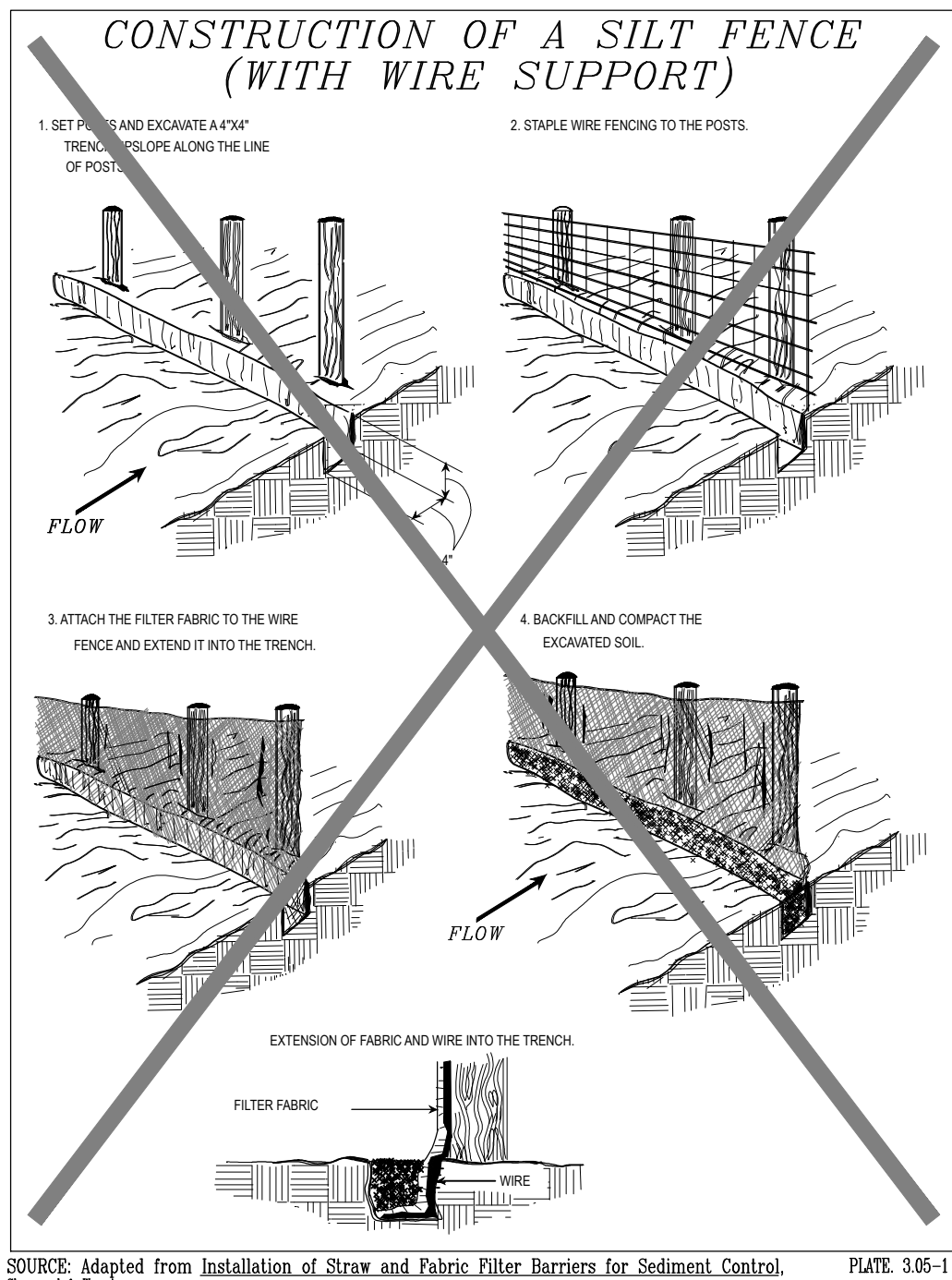
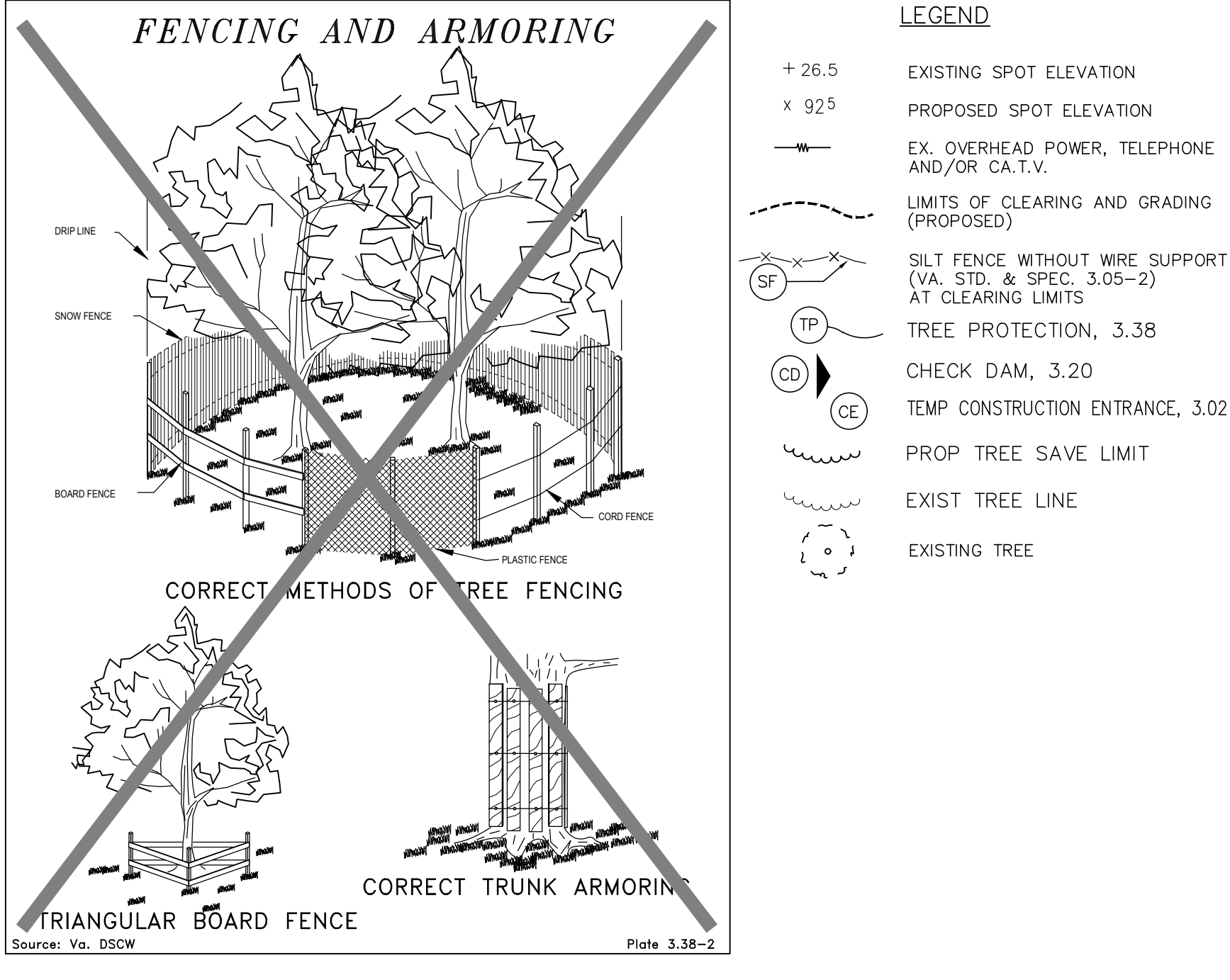
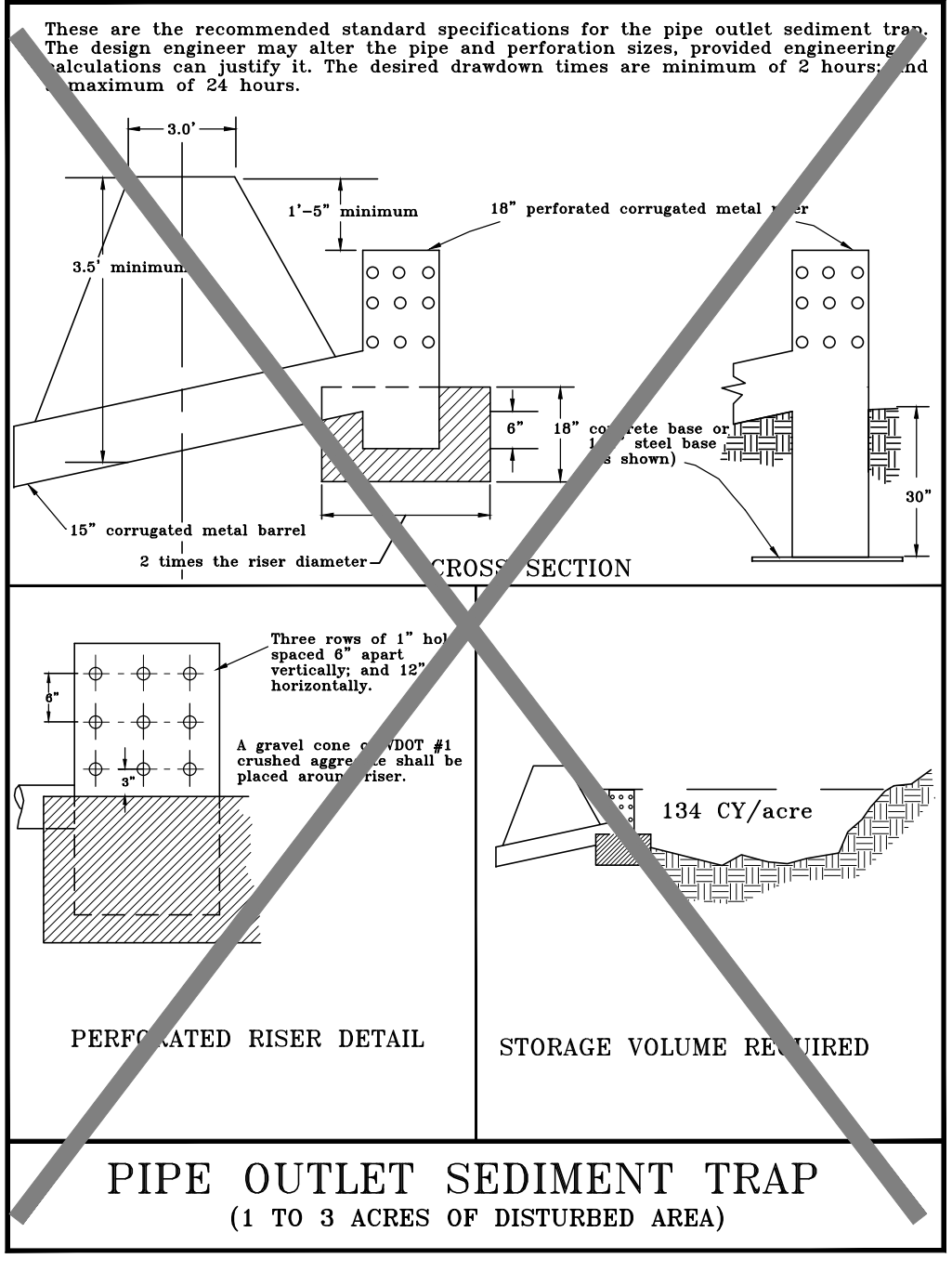
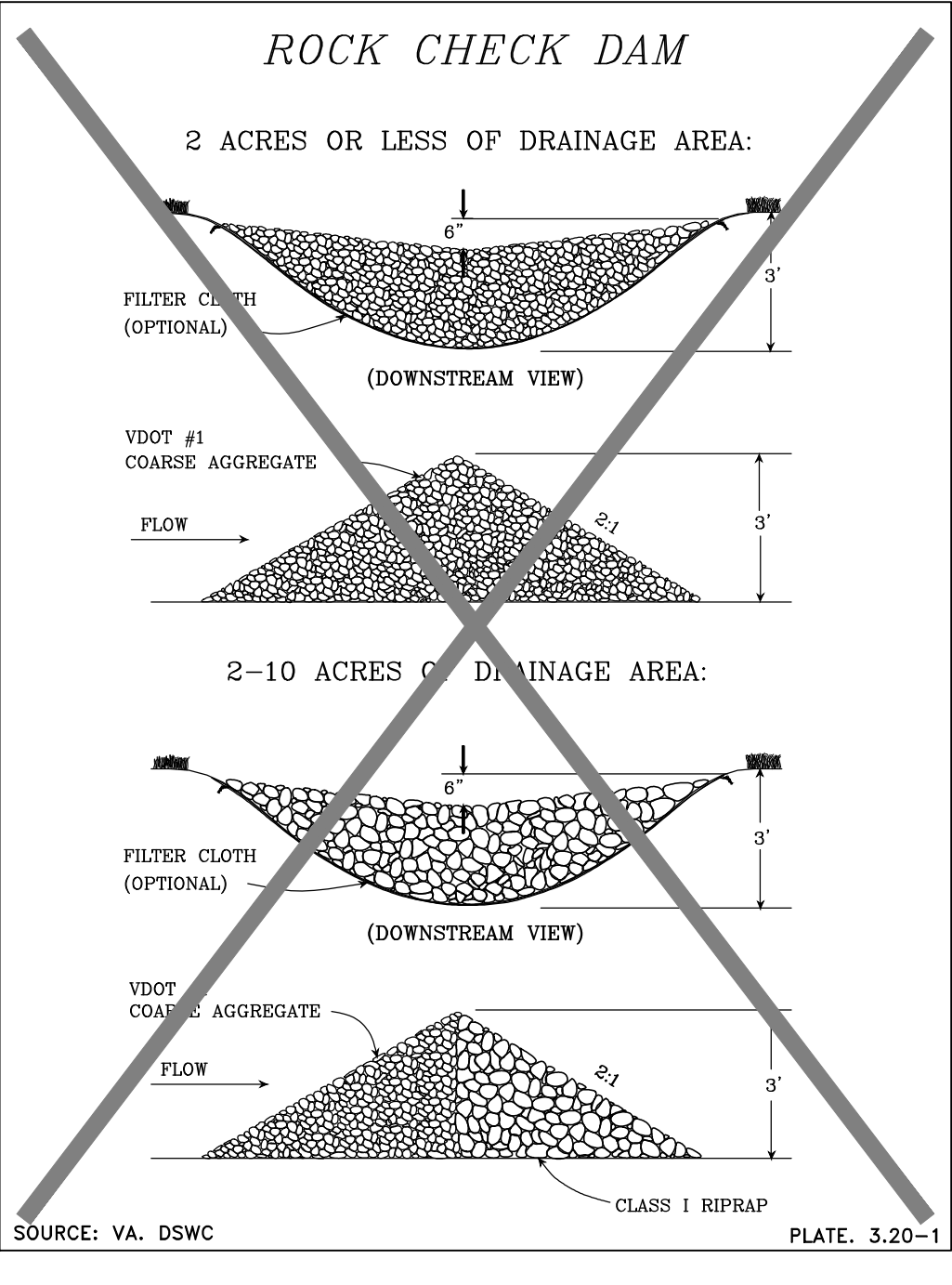
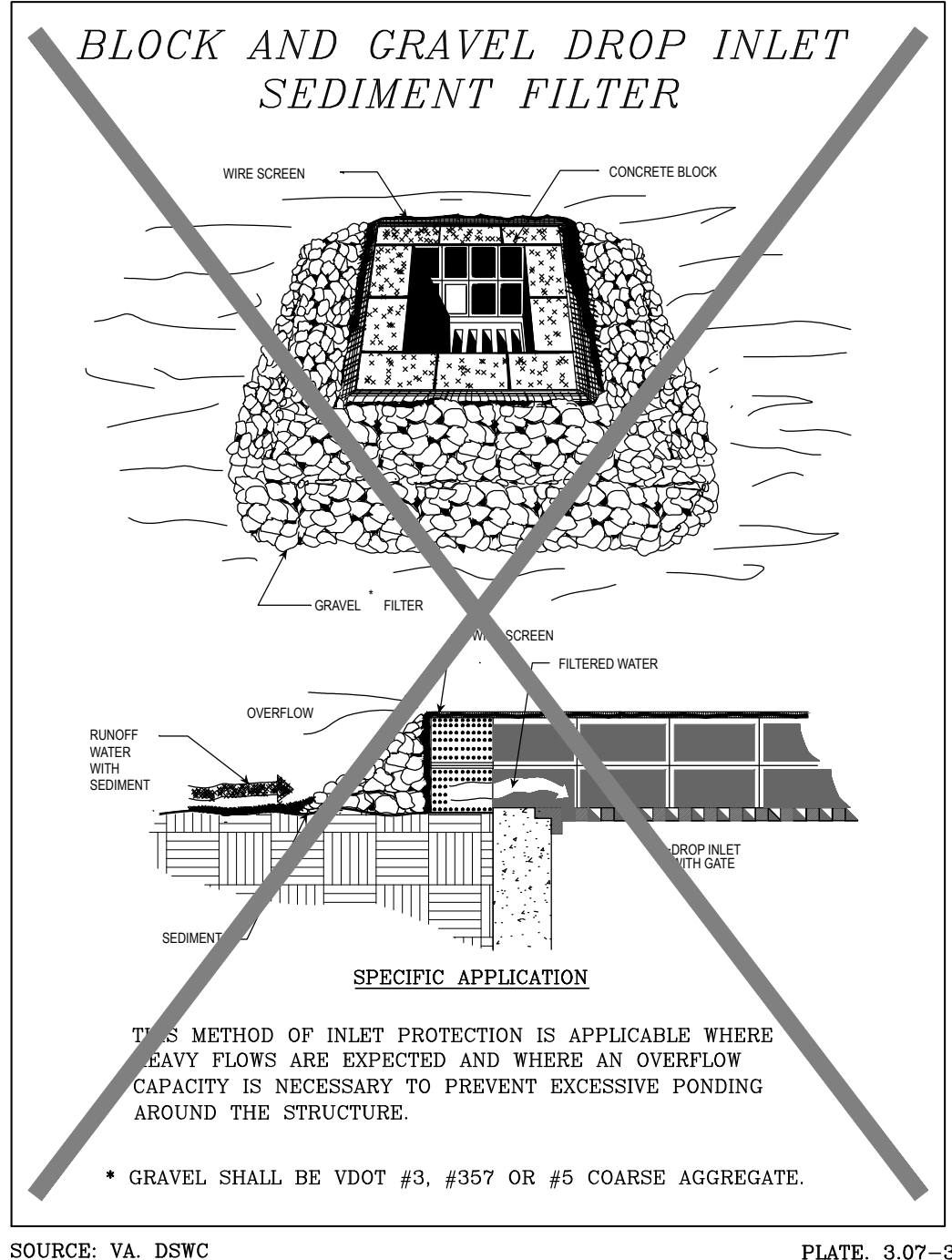
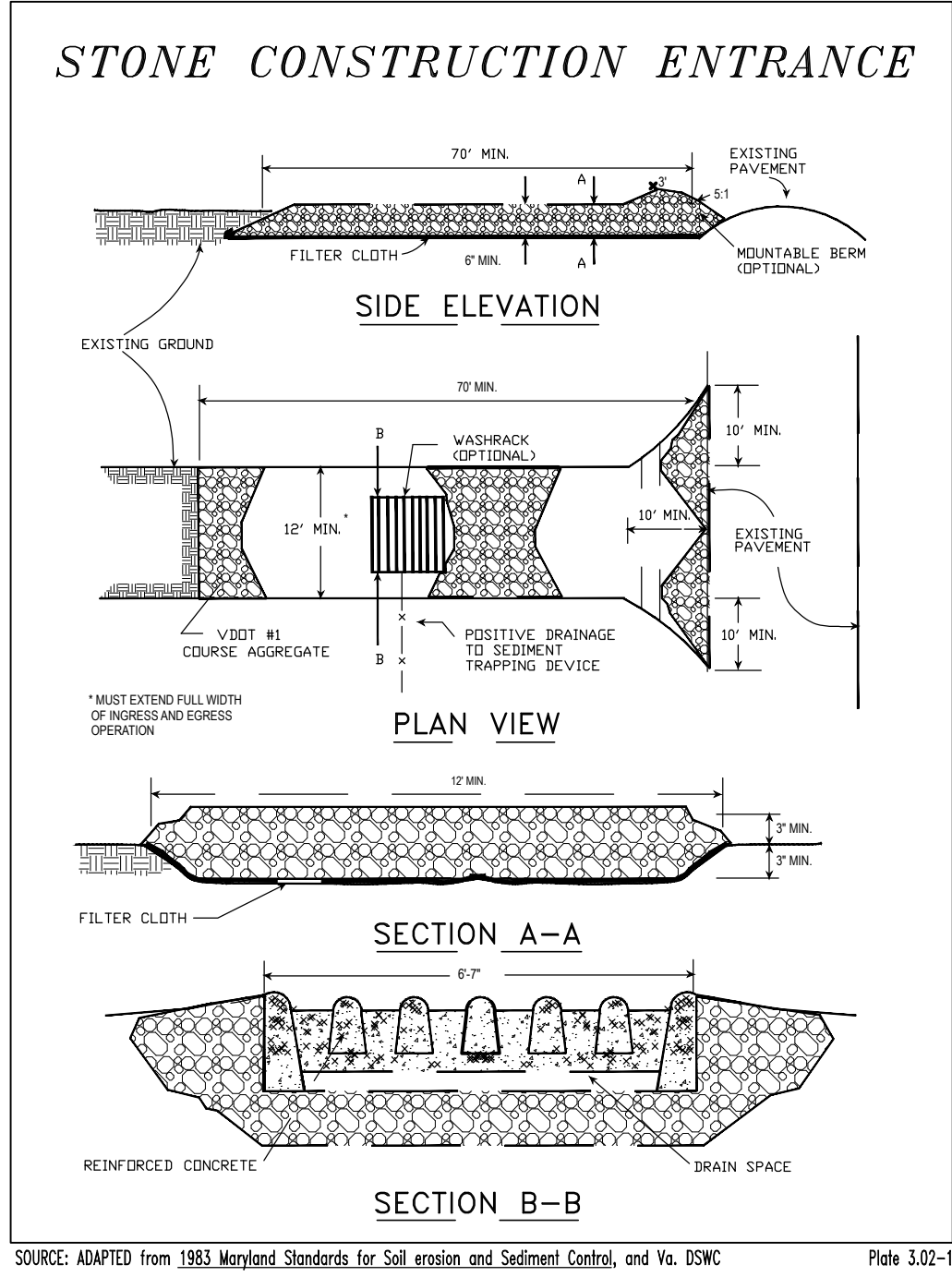


SCALE: 1" = 20'	DATE: MAR 2016	REVISIONS:
DESIGN: NSA	CADD: SEA	CHECK: NSA
SHEET: 7	OF 11	FILE NO. 141201



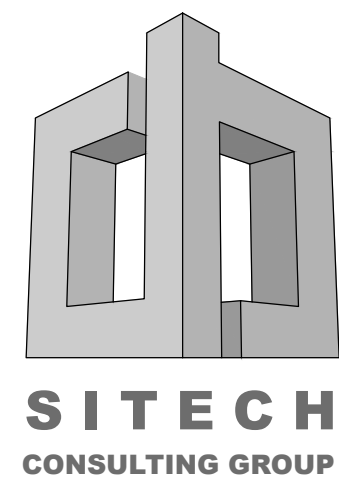
141201





**SOIL CONSERVATION NOTES**

- NO AREA SHALL BE LEFT DENUED FOR ANY PERIOD LONGER THAN 7 DAYS.
- ALL EROSION AND SILTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
- ALL STORM AND SANITARY SEWER LINES NOT IN STREETS ARE TO BE MULCHED AND SEEDED IMMEDIATELY AFTER BACKFILL. NO MORE THAN 500 FEET ARE TO BE OPEN AT ANY ONE TIME.
- ELECTRIC POWER, TELEPHONE AND GAS SUPPLY TRENCHES ARE TO BE COMPACTED, SEEDED AND MULCHED IMMEDIATELY AFTER BACKFILL.
- ALL TEMPORARY EARTH BERMS DIVERSIONS AND SILT DAMS ARE TO BE MULCHED AND SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OR HAY MULCH IS REQUIRE. THE SAME APPLIES TO SOILS STOCKPILES.
- DURING CONSTRUCTION, ALL STORM SEWER INLETS WILL BE PROTECTED BY SILT TRAPS, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ANY DISTURBED AREA NOT COVERED BY ITEM #1 ABOVE AND NOT PAVED, SODDED, OR BUILT UPON BY NOVEMBER 1ST, OR DISTURBED AFTER THAT DATE, IS TO BE SEEDED IMMEDIATELY WITH OATS, ABRUZZI RYE, OR EQUIVALENT AND MULCHED WITH HAY OR STRAW MULCH AT THE RATE OF TWO TONS PER ACRE. (MODIFY AS APPLICABLE DEPENDING ON PROPOSED TIME OF CONSTRUCTION.)
- ANY AREA DENOTED ON THIS PLAN AS A NATURAL WATERCOURSE AREA IS NOT TO BE DISTURBED DURING CONSTRUCTION. THIS AREA WILL NOT BE USED BY CONSTRUCTION EQUIPMENT OR FOR TEMPORARY STORAGE OF SOIL OR OTHER MATERIAL OR DISPOSAL OF ANY TYPE OF DEBRIS. NATURAL CONDITIONS ARE TO BE CAREFULLY PRESERVED.
- NO UNPROTECTED, DISTURBED AREA SHALL DRAIN TO ROADWAY PAVEMENTS SUCH THAT THE SUBBASE, BASE, OR WEARING SURFACE ARE CONTAMINATED BY THE SILT TRAPPED AT LOW POINTS OR INLETS.



**ENGINEERING SURVEYING ARCHITECTURE CONSTRUCTION**

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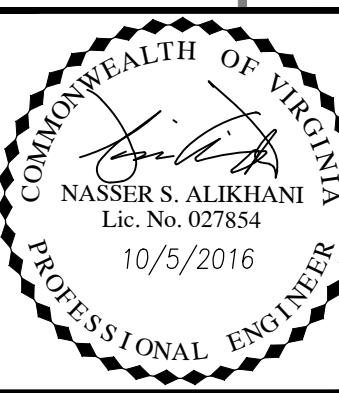
12146 Paper Birch Ln  
Gainesville, VA 20155  
703-927-2300  
Nasser@SitechCG.com

**CHURCH ROAD ANIMAL HOSPITAL**

SITE PLAN FOR ANIMAL HOSPITAL & OFFICE USE

DULLES MAGISTERIAL & POTOMAC ELECTION DISTRICTS, LOUDOUN COUNTY, VIRGINIA

VIRGINIA ERPSION & SEDIMENT CONTROL DETAILS

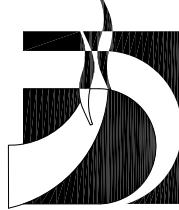


SCALE:	N/A
DATE:	MAR 2016
REVISIONS:	
DESIGN:	NSA
CADD:	SEA
CHECK:	NSA
SHEET:	9 OF 11
FILE NO.	141201



## LOUDOUN STANDARD WATER CONSTRUCTION DETAILS:





**SITECH**  
CONSULTING  
GROUP

12146  
PAPER BIRCH LANE  
GAINESVILLE  
VA 20155  
T : 703-927-2300  
F : 703-722-8718  
Nasser@SitechCo.com

PROJECT COORDINATOR:  
NASSER ALKHAHNI, PE

SPECIAL EXCEPTION PLAN

# CHURCH ROAD ANIMAL HOSPITAL

ANIMAL HOSPITAL / OFFICE USE  
STERLING, VIRGINIA



DATE: MAR 2015  
REVISIONS:  
12/8/2015 - CIVIL ATTORNEY'S COMMENTS

DESIGN:	CADD:	CHECK:
NSA	SEA	NSA
SHEET:	11	OF 11
FILE NO.	141201	

## SITE TABULATION:

CURRENT ZONING MAP CLASSIFICATION: C-1

## EXISTING SITE CONDITION:

THIS SITE IS LESS THAN HALF AN ACRE. IT WAS USED AS A RESIDENTIAL PROPERTY. THE OLD HOUSE ON THIS LOT WAS DEMOLISHED AND REMOVED A FEW YEARS AGO. THE SITE DOES NOT CONTAIN ANY SIGNIFICANT TREES. THERE ARE SOME UNDERGROWTH BRUSH ONSITE. THE DOMINION VIRGINIA POWER HAS A POWER EASEMENT ON THE W&OD TRAIL SIDE AND ALONG RURIATAN CIRCLE. VDOT HAS TAKEN ALL REQUIRED R.O.W. DEVELOPMENT OF THE CHURCH ROAD AND RURIATAN CIRCLE WITH THE ADJACENT LOT. THIS SITE IS SURROUNDED BY VDOT R.O.W. IN FRONT AND BACK, WOOD TRAIL ON EAST AND AN OUTLOT (CORE) TO THE WEST. THE OUTLOT HAS A MINIMAL AREA AND IS NON-DEVELOPABLE DUE TO ITS SIZE. ANY EXCESS DIRT FROM THIS SITE HAS TO BE HAULED AWAY IMMEDIATELY. THERE WILL BE A SMALL STOCKPILE AREA AT THE LEFT SIDE OF THE ENTRANCE. THE TOPOGRAPHY OF THE SITE WAS ALTERED WITH ROAD IMPROVEMENTS. THERE SEEMS TO BE NO MINIMAL ENVIRONMENTAL IMPORTANCE TO THIS SITE. THIS SITE WAS PREVIOUSLY APPROVED FOR OFFICE USE, STIP.#2002-0057.

## SITE INFORMATION:

PROPOSED USE: ANIMAL HOSPITAL / OFFICE  
TOTAL CURRENT SITE AREA (LATTER R.O.W. DEDICATIONS):  
= 19,339 SF = 0.4440 AC.  
PROPOSED TOTAL GROSS OFFICE SPACE: 2,979 S.F.(G.F.A.)  
= 19,339 SF = 0.4440 AC.  
PROPOSED TOTAL GROSS ANIMAL HOSPITAL SPACE: 3,060 S.F.(G.F.A.)  
PROPOSED TOTAL NET OFFICE SPACE: 2,234 S.F.(N.F.A.) = 75% OF G.F.A.  
PROPOSED TOTAL NET ANIMAL HOSPITAL SPACE: 2,295 S.F.(N.F.A.) = 75% OF G.F.A.  
PROPOSED BUILDING FOOTPRINT: 3,060 S.F.  
MAXIMUM LOT COVERAGE: 40% OF 7,736 S.F.  
PROPOSED LOT COVERAGE: 15.8%  
PROPOSED BUILDING HEIGHT: 35 FEET  
APPROXIMATE PROPOSED DISTURBED AREA: 18,000 SF

## YARDS:

**REQUIRED YARDS:**  
FRONT YARD: 30 FT. FROM CHURCH ROAD, RTE. 625  
FRONT YARD: 30 FT. FROM RURIATAN CIRCLE, RTE. 859  
SIDE YARD: NONE; 25' SETBACK FROM W&OD TRAIL  
**PROVIDED YARDS:**  
FRONT YARD: 30 FT. FROM CHURCH ROAD, RTE. 625  
FRONT YARD: 30 FT. FROM RURIATAN CIRCLE, RTE. 859  
SIDE YARD: 9' WEST YARD; 25' SETBACK FROM W&OD TRAIL

## PARKING/LOADING:

OFFICE USE: 1 SPACE PER 375 SF OF N.F.A.  
PARKING REQUIRED= 2,234/375=6 SPACES  
ANIMAL HOSPITAL USE: 2.5 SPACE PER 1,000 SF OF G.F.A.  
(USE: SAME AS SERVICE RETAIL, AS PER REVISED 1993 Z.O.)  
PARKING REQUIRED= 25x(3,060/1,000)= 8 SPACES  
TOTAL PARKING REQUIRED : 14 SPACES  
TOTAL PARKING PROVIDED : 1 SPACE  
HANDICAP PARKING PROVIDED = 1 SPACE  
VAN ACCESSIBLE PARKING PROVIDED= 1 SPACE  
VAN ACCESSIBLE PARKING PROVIDED= 1 SPACE  
LOADING BAYS REQUIRED: NONE  
LOADING BAYS PROVIDED: NONE

## LANDSCAPING:

LANDSCAPING SHOWN ON THIS PLAN IS FOR ILLUSTRATION PURPOSES ONLY. DETAILED LANDSCAPING DESIGN AND COMPS WILL BE PROVIDED WITH SITE PLAN.  
**OPEN SPACE:**  
REQUIRED: 1,934 S.F. OR 10%  
PROVIDED: 3,700 S.F. OR 19%  
**BUFFER YARDS:**  
REQUIRED: 15' WIDE TYPE-2, ALONG CHURCH ROAD AND W&OD TRAIL  
PROVIDED: 15' WIDE TYPE-2, ALONG CHURCH ROAD AND W&OD TRAIL  
**STORM WATER MANAGEMENT FACILITY:**  
THE SWM SHOWN ON THE PLAN IS FOR SCHEMATIC PURPOSES ONLY. DETAILED FACILITY AND COMPS WILL BE PROVIDED WITH SITE PLAN.

## PROPERTY OWNER/APPLICANT:

SHARMA, NAVDEEP KUMAR & RITU KANWAR  
43470 ROCKFOREST CT, STERLING, VA 20166-2167  
TEL: (757) 288-0503

## PROPERTY INFORMATION:

LOT 4037  
1009 RURIATAN CIRCLE, STERLING, VIRGINIA 20164  
TAX MAP: /80/111111176/  
PIN: 032-45-4037-000  
INSTRUMENT# 20150105000394  
INSTRUMENT# 2004028005753 D/C 2055 --1789 1012-589  
INSTRUMENT# 20050124008647-8648P

# SPECIAL EXCEPTION PLAN

## SPEX 2015-0009

## SITE NOTES:

1. THIS PROPERTY IS LOCATED IN THE ROUTE 28 TAXING DISTRICT AND IS THEREFORE SUBJECT TO THE REQUIREMENTS OF THE 1972 ZONING ORDINANCE.
2. WHERE PARKING, SERVICE OR LOADING AREAS ARE ILLUMINATED THE LIGHTS SHALL BE FULLY SHIELDED DOWNWARD DIRECTED, BE GLARE FREE, CONFINED TO THE SITE AND SHOULD HAVE ILLUMINATION LEVELS THAT ARE NO GREATER THAN NECESSARY FOR LIGHT'S INTENDED PURPOSE. ALL LIGHTING SHOULD BE MOUNTED AS LOW AS PRACTICABLE AND DESIGNED TO PRECLUDE LIGHT TRESPASS ONTO ADJOINING PROPERTIES. GLARE TO PASSSENGER, SKYGLOW, AND DEGRADATION OF THE NIGHTTIME ENVIRONMENT.
3. AS PER PRE-APPLICATION MEETING PRAP 2014-0112, THE PARKING RATE OF MINIMUM 2.5 PARKING SPACES PER 1,000 SF OF GFA (GROSS FLOOR AREA) OF "SERVICE RETAIL", PER REVISED 1993 ZONING ORDINANCE, WILL BE UTILIZED TO PARK THE ANIMAL HOSPITAL. THE OFFICE USE REQUIRES ONE SPACE FOR EVERY 375 SF OF NFA (NET FLOOR AREA).
4. NO BUILDING OR OTHER STRUCTURES SHALL BE LOCATED IN A MANNER OR BUILT TO A HEIGHT WHICH CONSTITUTES A HAZARD TO AERIAL NAVIGATION (SEC.520.2.2)
5. THE ESTIMATED TOTAL 200 ADT IS BASED ON 5 PEAK HOUR (PM) TRIPS FOR LAND USE 715 (2,979 SF, OFFICE), AND 15 PEAK HOUR (PM) TRIPS FOR LAND USE 640 (3,060 SF, ANIMAL/VETERINARY CLINIC), FOR A TOTAL OF 20 PEAK HOUR (PM) TRIPS, AS INDICATED ON 9TH EDITION OF THE TRIP GENERATION MANUAL BY INSTITUTE OF TRANSPORTATION ENGINEERS. WEEKDAY ADT ASSUMED TO BE 10 TIMES THE PM TOTAL PEAK HOUR TRIPS.
6. THIS SITE MAY PROVIDE CUSTOMER SERVICES AFTER 5:00 PM, THEREFORE, THE LIGHTING SHALL STABILISH THE MOUNTING HEIGHT, ILLUMINANCE, AND SPACING TO PROVIDE AN AVERAGE HORIZONTAL ILLUMINATION OF 0.6 FOOT-CANDLES OR GREATER WITHIN THE PARKING AREAS AND AT PRIMARY BUILDING ENTRANCES. (FSM 7.120B.2.)  
ALL LIGHTING AND GLARE PERFORMANCE STANDARDS MUST CONFORM TO ARTICLE 535.
7. NO TITLE REPORT FURNISHED.
8. THE EXISTING TOPO IS BASED ON THE AVAILABLE COUNTY RECORDS. AN UPDATED FIELD-RUN TOPO WILL BE PROVIDED WITH THE SITE PLAN.
9. NO SPITE STRIPS CONTROLLING ACCESS TO PUBLIC ROADS ARE PROPOSED WITH THIS SITE PLAN
10. THIS SPEX PLAN IS SUBMITTED TO PERMIT AN ANIMAL HOSPITAL USE. A SPECIAL ADMINSTRATIVE SITE PLAN PREPARED IS REQUIRED TO ESTABLISH THAT USE AND THE BY-RIGHT SECOND FLOOR OFFICE.
11. THIS SITE IS SERVED WITH PUBLIC WATER AND PUBLIC SEWER.
12. ALL SIGNAGE MUST CONFORM TO ARTICLE 523 OF THE 1972 ZONING ORDINANCE.

NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE

VICINITY MAP  
SCALE: 1"=1000'

